



City of Albany  
**Policy**

# **Local Planning Policy 4.6 Lot 100 Grey Street East**

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## Background

The existing site is a 1429m<sup>2</sup> Lot on the north east corner of Rowley Street and Grey Street East. An existing house on the southern corner of the site is not on the Municipal Inventory. The site however is within the residential area covered by the Albany Historic Town Design Policy. Refer Attachments 3 for site information and survey.

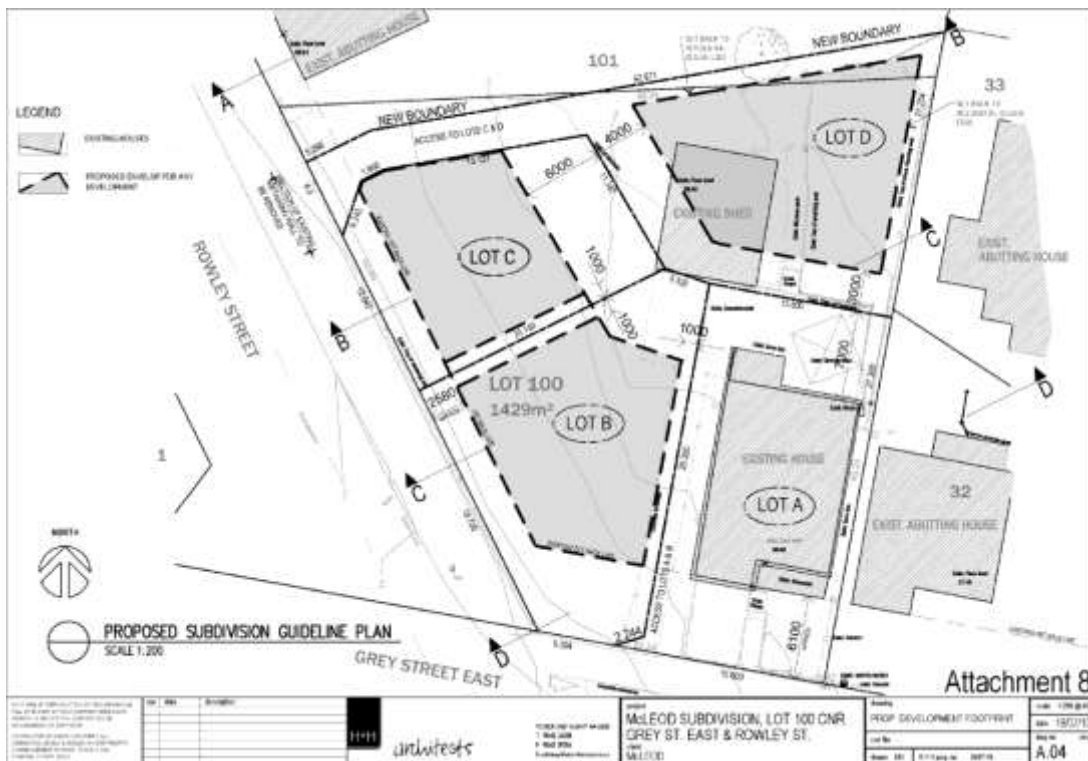
Subdivision approval (WAPC Ref 139254) has been granted to realign the northern boundary and to create a 4 Lot subdivision.

## Objective

1. Provide a set of guidelines for the proposed 4 Lots that adhere with the intent of the Albany Historic Town Design Policy.
2. Provide certainty to anyone wanting to develop any of the sites.
3. Are appropriate for these particular sites.
4. Facilitates development of the sites to ensure the current streetscape is complemented. Facilitates development that does not dominate adjacent buildings.
5. Facilitates development that contributes positively to the Rowley St and Grey St East community.
6. Allows development with minimal impact on the existing Rowley St granite boundary retaining wall.

## Scope

1. This policy applies to lot 40 Grey Street East and lots 41, 42 and 43 Rowley Street as indicated on the below image.



## Policy Criteria

### Relationship to Albany Historic Town Design Policy

7. Except where amended by this policy, all development shall be in accordance with the Albany Historic Town Design Policy.

### Scale and Mass of surrounding development

8. The existing house fronts Grey St East. The house and the adjoining two Grey St East houses have hipped roofs with a gable and verandah at the front. These three houses are built on a 1500mm to 1800mm plinth. There is a 3.3m (approx) pitching point above floor level. (Refer Attachment 5 – Grey Street East Street View). The adjoining Rowley St houses are also hipped or hipped and gabled houses with similar plinths and pitching points. (Refer Attachment 6 Rowley Street View).
9. Any development on the 4 Lots created on Lot 100 must be designed with hipped or hipped and gabled roofs to complement the scale and mass of the adjoining houses in Grey St East and Rowley St.

### Roof Form and Pitch

10. The existing house and the adjoining houses in Grey St East and Rowley Street have hipped and gabled roofs that are generally between 25 and 40 degrees, therefore any roof that is visible from Grey Street East or Rowley Street must be designed to be hipped or hipped and gabled at a pitch between 25 and 40 degrees.

### Streetscape

11. The existing houses in Grey Street East and Rowley Street present a consistent pattern with the houses presenting a strong traditional street front. Refer to Street Views - Attachments 5, 6 and 7 below.



GREY STREET EAST - STREET VIEW

VIEW 1



ROWLEY STREET

VIEW 2

Attachment 6



LOT 100  
ROWLEY STREET / GREY STREET EAST CORNER

VIEW 3



LOT 100  
GREY STREET EAST - HARBOUR VIEW

VIEW 4

Attachment 7

12. Any development on new Lots B or C or redevelopment of existing house Lot A must maintain the pattern established by adjoining houses in Rowley and Grey Street East.
13. The development of Lot D is more flexible although it must meet the other requirements outlined in these guidelines.

### Bulk and Scale

14. The existing adjacent houses are built on plinths that are 1.5m to 1.8m above the natural ground level at the front of the house, have pitched, hipped and gabled roofs, 3.0m to 3.3m pitching points above floor level and roofs that are 25 – 40 degrees. The adjacent houses generally have a hipped roof with 3.5m to 4.0m gabled front room and a front verandah across the balance of the front façade.
15. The development site is not adjacent to a heritage listed building.
16. Any development on Lots B and C or any redevelopment of Lot A should reflect the hipped roofs, articulate the concept of the gabled front room and the use of front verandahs. Any development of Lot D is more flexible in terms of where gables and verandahs are located but must reflect the hipped and gabled roofs.
17. New developments must meet the intent of these guidelines. Given that the development site is not adjacent to a heritage listed building no guideline is appropriate. Extensions shall not significantly increase the form, size or height of a building when viewed from the street.

### Building Orientation

18. The existing house on Lot 100 and the adjoining houses in Grey St East and Rowley St read strongly from the streets as hipped or hipped and gabled houses with verandahs. The front entry of the houses is generally from the street.
19. Any development of new Lots B or C or redevelopment of existing house Lot A must read with the front entry of the house from the street. The front entry to the development of Lot D is more flexible and can be to suit the development.

### Open Streetscapes

20. The existing house is set back approximately 6.1m from the Grey Street East boundary. There is a retaining wall on the boundary with a garden bed between the boundary and the house. There is an open verandah across part of the front of the house. Adjacent houses have open picket fences along their front boundaries. There is a low granite retaining wall along Rowley Street.
21. Any development of new Lots B or C or redevelopment of existing house Lot A must read with the front entry of the house from the street. The front area should be landscaped. The low granite retaining wall on Rowley Street must be retained except where a new driveway is developed to service Lots C and D. Open picket fences along the boundary are acceptable provided the height, including any retaining walls, does not exceed 1.8m.

### Street Setbacks

22. The existing House on Lot 100 is set back from Grey Street East by approximately 6.10m. The adjoining houses in Grey Street East are set back by a similar amount. The adjoining houses to Lot 100 on Rowley Street are set back approximately 2.58m.
23. Any development of new Lot C can have a setback from Rowley Street of 2.58m. Any development of new Lot B can have a setback from Rowley Street of 2.58m and 6.10m from Grey Street East. Any redevelopment of existing house Lot A can have a setback of 6.10m from Grey Street East.

24. Boundary setbacks along the North and East boundaries of Lot D are to be in accord with the Residential Design Codes. The south and west setbacks are to be in accord with the setbacks shown on Drawing A.04 – Attachment 8.

#### Front Fences

25. Lot 100 has a 800mm to 1000mm high granite retaining wall along the Rowley Street boundary and a 800mm to 1000mm brick retaining on the Grey Street boundary. Adjoining properties generally have an open picket fence or an 1800mm high open picket fence with a brick base and brick piers.
26. Any development must retain the existing granite retaining wall along the Rowley Street boundary except where a new access way is proposed. Open picket fences along the boundary are acceptable provided the height, including any retaining walls, does not exceed 1.8m.

#### Side Setbacks

27. The existing house and the houses on adjoining blocks are set back from the side boundaries.
28. Any development of new Lots B and C are to be in accord with the Albany Historic Town Design Policy except any development can abut the boundary of the access way to Lot D. If Lots B and C are developed as one integrated development, with the same floor levels, then a parapet wall on the boundary between the two Lots may be considered provided there is an articulation of the 2m zone between the two houses to ensure that the design of the two houses meet the other requirements of this policy.
29. Any redevelopment of Lot A will to be in accord with the Albany Historic Town Design Policy and development on Lot D will be in accord with the side setback provisions of the Residential Design Codes and in accord with the setbacks shown on Drawing A.04 – Attachment 8.

#### Topography

30. The Lot 100 site slopes approximately 6m from the north east corner of the site to the south west corner of the site. There is a further drop of 800mm to 1000mm from the top of the granite retaining wall along Rowley Street to the verge. The existing House has a floor level of 56.32. The house on the adjoining property in Rowley St has a floor level of 55.04.
31. Drawings A.01, A.02 and A.05 (Attachments 9,10 and 11) show, with a series of cross sections through the site, an analysis of the site. Proposed development guidelines for floor levels and possible cut and fill are outlined in Section K.14 Building Height. These guidelines indicate a sympathetic cut and fill outcome.

#### Retaining Walls

32. There is a granite retaining wall of 800mm to 1000mm high along Rowley Street.
33. The existing granite retaining wall along Rowley Street is to be retained except where it needs to be removed to provide an access way. With respect to retaining walls within the front setback any development on the 4 Lots created on Lot 100 is to be in accord with the Albany Historic Town Design Policy.

#### Floor Levels

34. The Lot 100 site slopes approximately 6m from the north east corner of the site to the south west corner of the site. There is a further drop of 800mm to 1000mm from the top of the granite retaining wall along Rowley Street to the verge. The existing House has a floor level of 56.32. The house on the adjoining property in Rowley St has a floor level of 55.04.



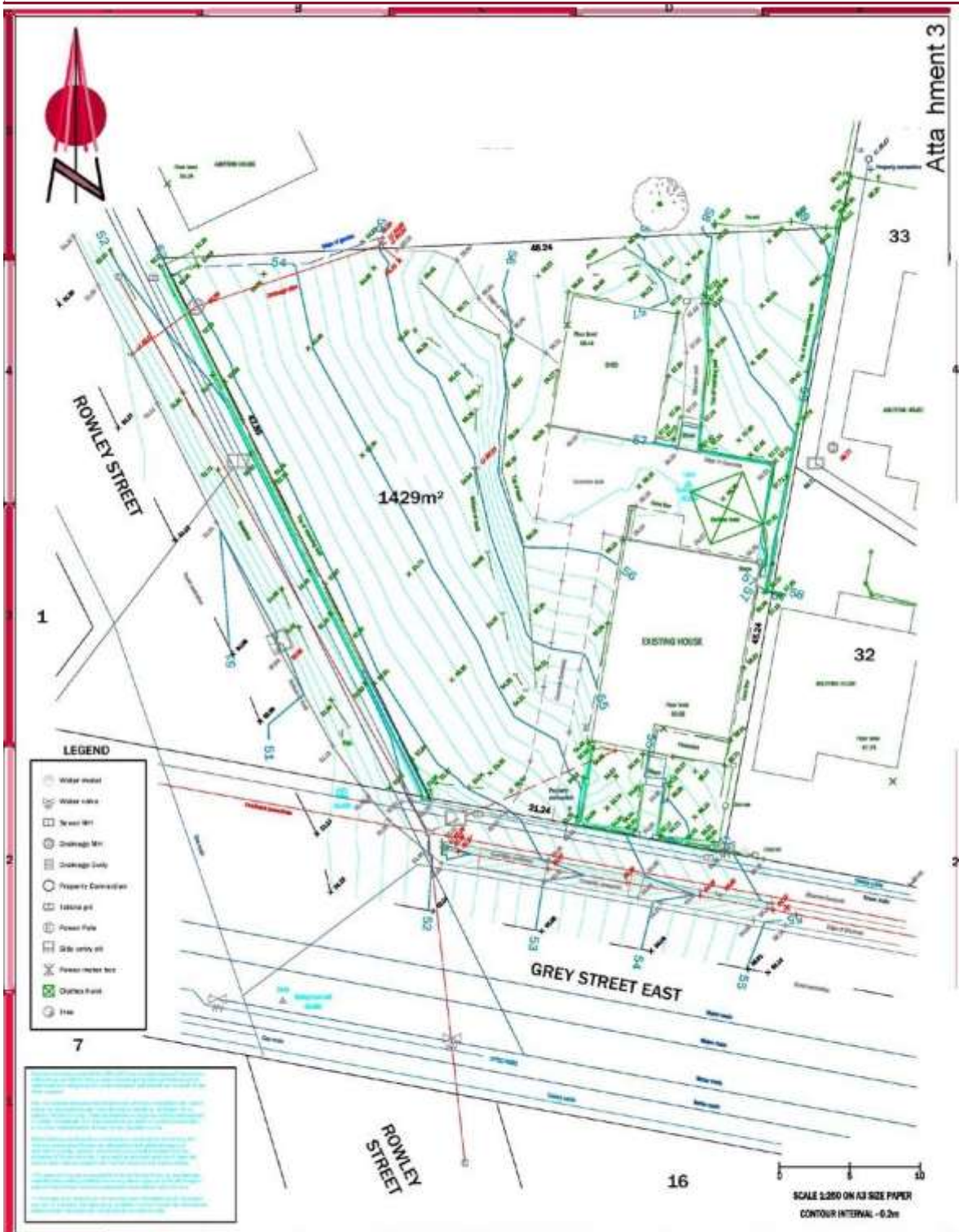
35. Any development of new Lots B or C or redevelopment of existing house Lot A must maintain the pattern established by adjoining houses in Rowley and Grey Street East. The development of Lot D is more flexible and can be to suit the constraints of the site and the other requirements of these guidelines.

#### Building Height

36. The existing house and the adjoining houses are generally built on a 1.5m to 1.8m high plinth with a 3.3m floor to eaves height and a hipped and pitched roof that rises approximately 2.25m above the eaves height. This gives an effective height of ground to ridge height of 7.35m.
37. These guidelines set maximum eaves and roof heights and are based on averaging the heights between the adjacent houses. Drawings A.01, A.02 and A.05 (Attachments 9, 10 and 11) indicate the various levels.
38. Any development of new Lot B must meet the other requirements of these guidelines and not have any point of the eaves higher than 59.19 or part of the roof higher than 61.44.
39. Any development of new Lot C must meet the other requirements of these guidelines and not have any point of the eaves higher than 58.77 or part of roof higher than 61.02.
40. Any re-development of new Lot A must meet the other requirements of these guidelines and not have any point of the eaves higher than 59.62 or part of roof higher than 61.87.
41. Any development of new Lot D must meet the other requirements of these guidelines and not have any point of the eaves higher than 63.40 or part of roof higher than 65.65.
42. If Lots B and C are developed as one development any development must meet the other requirements of these guidelines and not have any point of the eaves higher than 58.98 or part of roof higher than 61.23.

#### Other Variations to the AHTD Policy and the Residential Design Codes

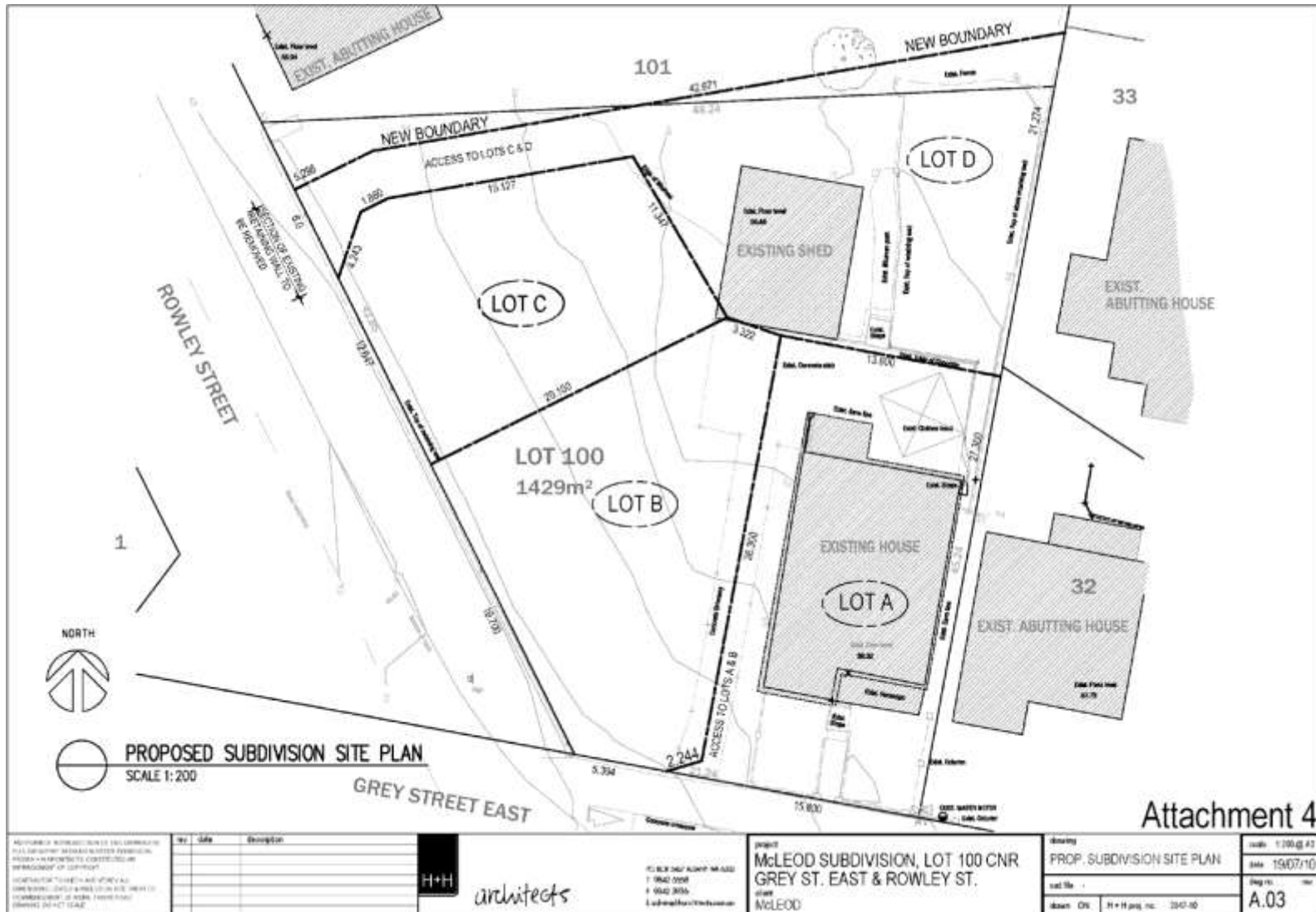
43. Refer to Drawing A.05 (Attachment 11). This plan indicates the general footprints for any development.
44. To facilitate reasonable development of the Lots and to maintain privacy:
- 1) development of Lots B and C must be setback a minimum of 6.0m from the boundary with Lot D.
  - 2) any redevelopment of Lot A must be set back a minimum of 7.0m from the boundary with Lot D.
  - 3) any development of Lot D must be set back a minimum of 4.0m from the boundary with Lot B and C and 3.0m from the boundary with Lot A.
45. Access to Lots A and B may be from a shared driveway off Grey Street East located between Lots A and B or any other lawful driveway. Access to Lots C and D and the rear of the adjoining Lot 101 will be from a shared driveway off Rowley Street located on the North boundary of Lot 100 or any other lawful driveway.



Attachment 3

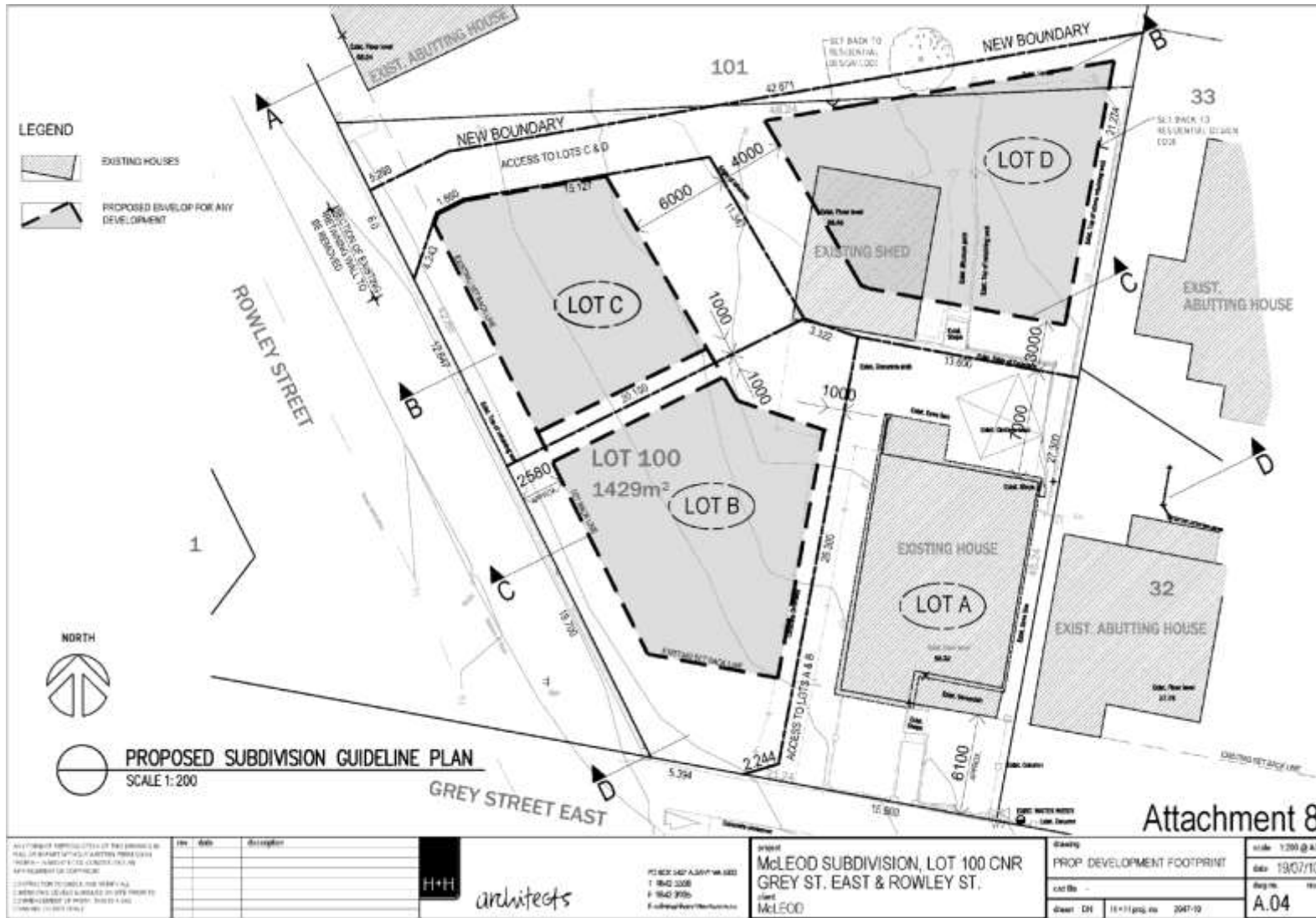
<p>Harley Survey Group Pty Ltd 122 Seaview Rd, ALBANY WA 6330 T: 9841 7321 F: 9841 2942 E: hsg@harleysurvey.com.au Site of Barbara &amp; Rowland</p>	<p><b>PLAN 1</b></p>	<p>MJS 9-02-08</p>	<p>14384-01A.lcd</p>	<p>McLEOD</p>	
		<p>MJS 13-02-08</p>	<p>AJE 14-02-08</p>		
<p>A Original drawing 13-02-08</p>		<p>Scale of All dimensions are in metres</p>		<p>McLEOD</p>	
<p>Site details</p>		<p>Site</p>		<p>Drawing to</p>	





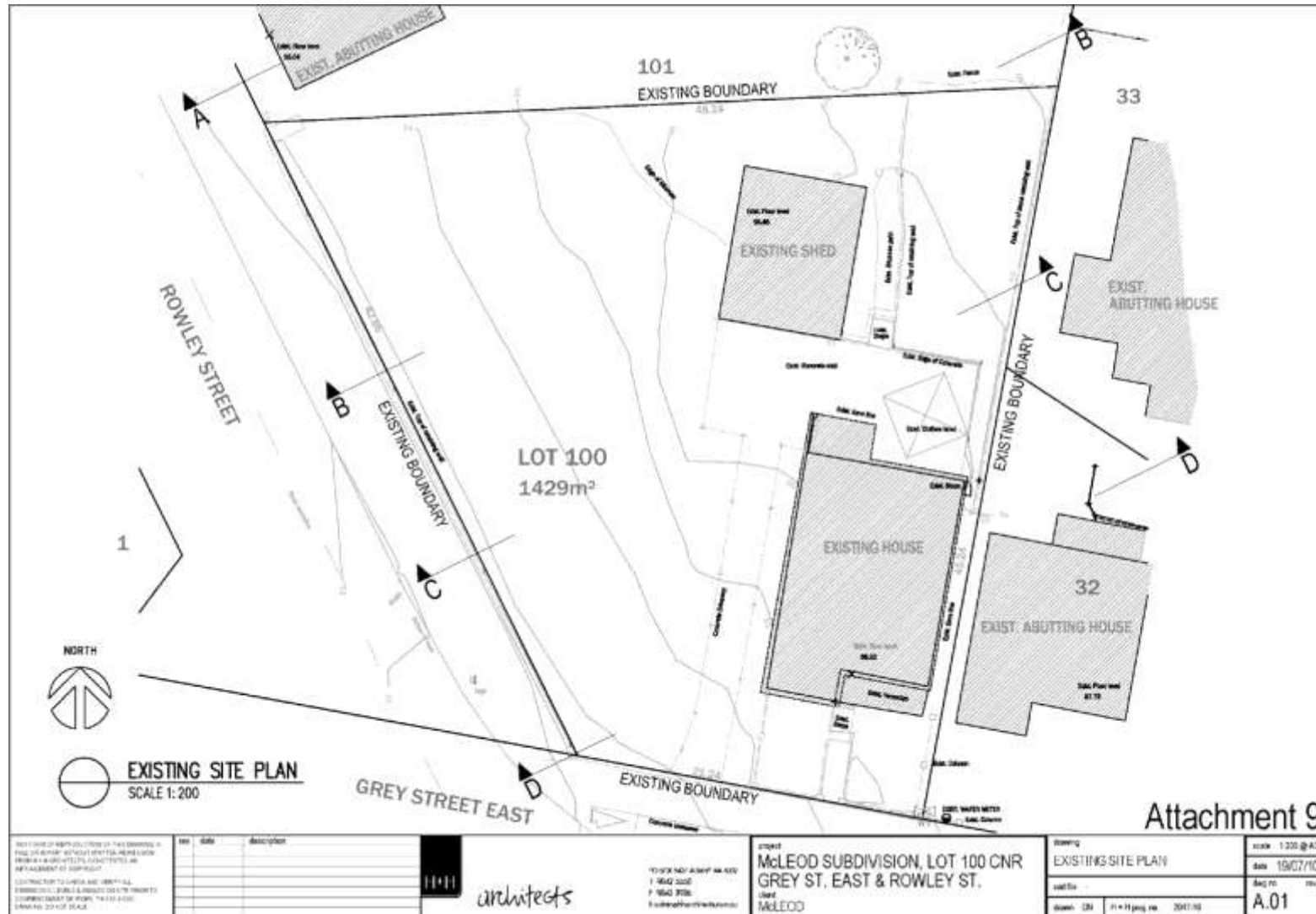


POLICY MANUAL





**POLICY MANUAL**

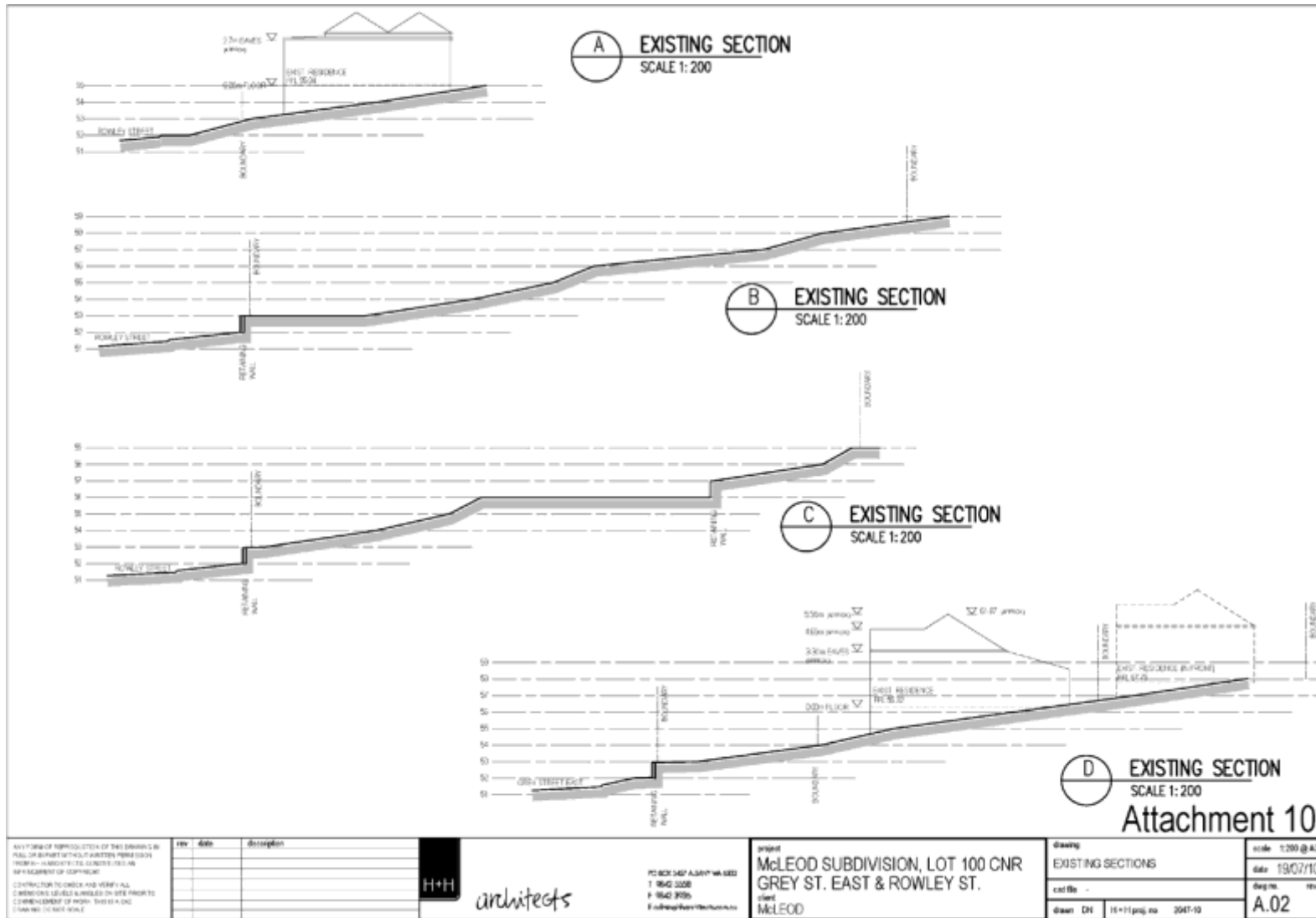


Attachment 9

<p>NOT TO SCALE</p> <p>1:1000 ARCHITECTS</p>	<p>NO DATE DESCRIPTION</p>	<p>PROJECT McLEOD SUBDIVISION, LOT 100 CNR GREY ST. EAST &amp; ROWLEY ST. CLIENT McLEOD</p>	<p>DRAWING EXISTING SITE PLAN</p>	<p>SCALE 1:200 @ A2</p>
	<p>DATE</p>		<p>DATE 19/07/10</p>	<p>NO. 101</p>
<p>1:1000 ARCHITECTS</p>	<p>1 9542 2002 F 9542 3100 E 9542 3100</p>	<p>1:1000 ARCHITECTS</p>	<p>DATE 19/07/10</p>	<p>NO. 101</p>



**POLICY MANUAL**

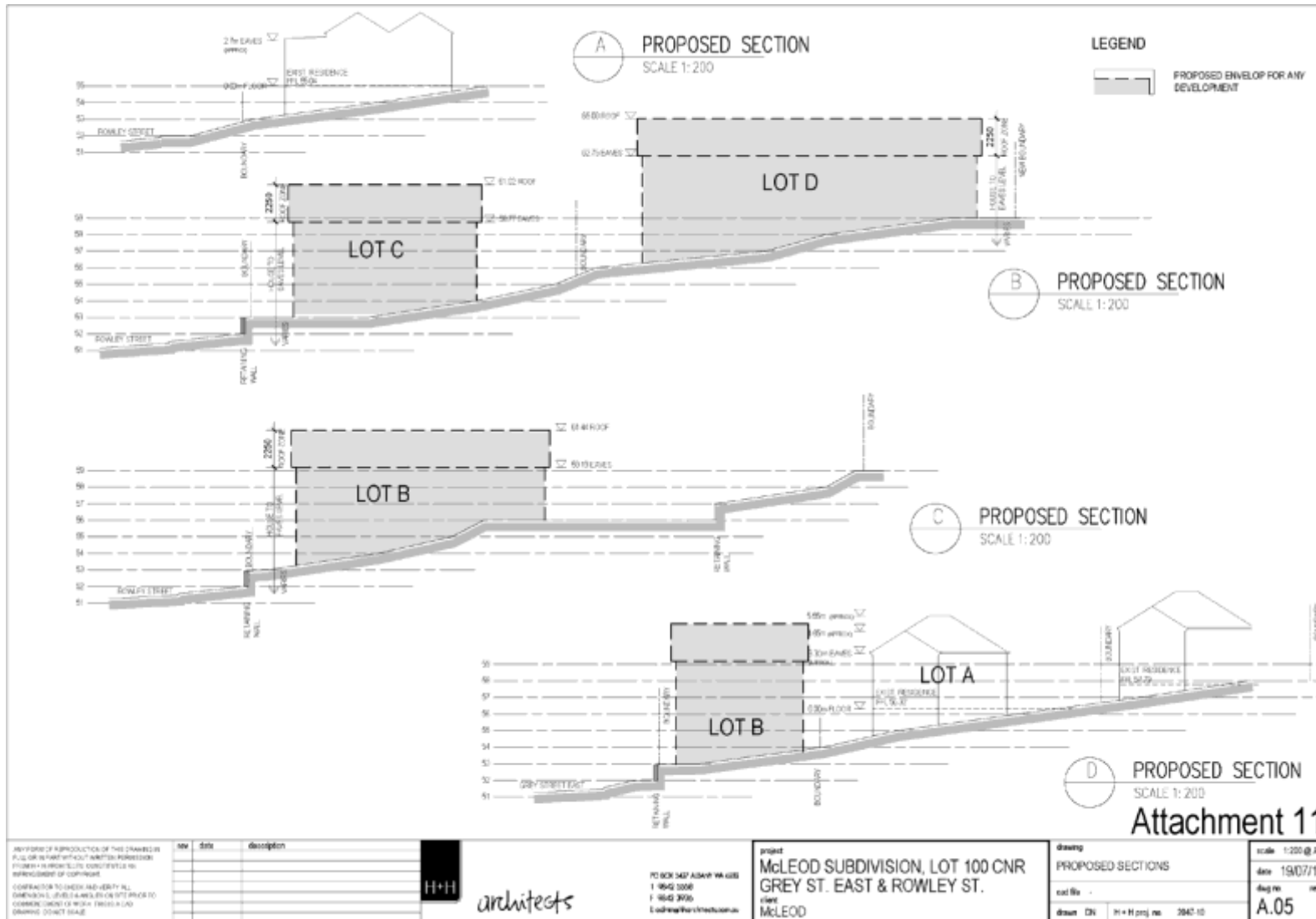


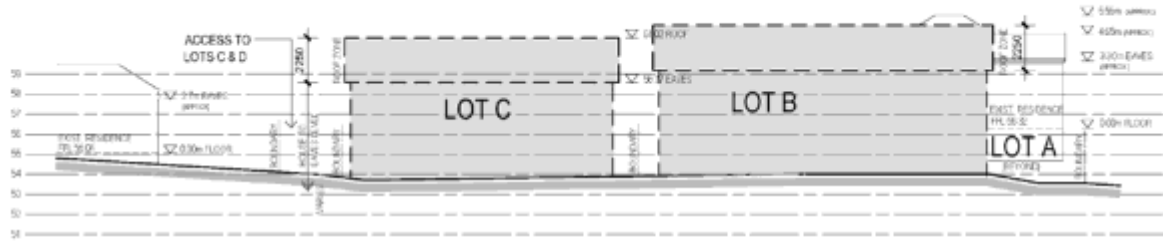
**Attachment 10**

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	PROJECT NO. 2047-10 TEL 0642 3228 FAX 0642 3705 E info@hplusarchitects.co.nz				



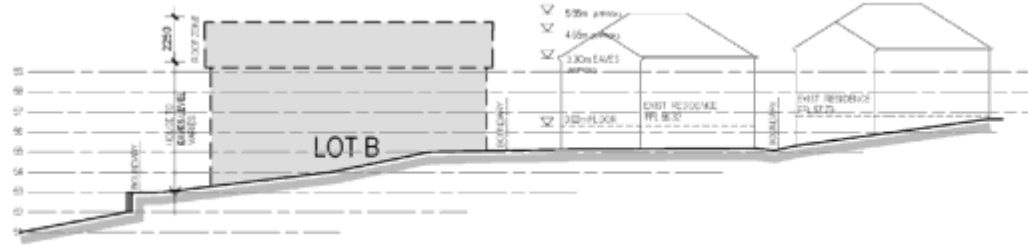
**POLICY MANUAL**





**LEGEND**  
 PROPOSED ENVELOPE FOR ANY DEVELOPMENT

**E** PROPOSED SECTION  
 SCALE 1:200



**F** PROPOSED SECTION  
 SCALE 1:200

Attachment 12

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	Lot file:				sheet no: A.05	
Drawn: CH 11 x 11 page no: 2047-10					A.05	