

Development Services

City of Albany Policy

DETAILED AREA PLANS

DETAILED AREA PLANS

Objective:

To ensure that development on small, rear loaded or unusual lot configurations are designed in a manner that creates a high level of amenity and passive surveillance.

Scope

- 1) This policy applies to those lots identified in Schedule 1, which have been created as part of a subdivision process and a Detailed Area Plan has been required as condition of the approval issued by the Western Australian Planning Commission or any lot for which Council has determined a Detailed Area Plan is required.
- 2) The provisions of this policy apply in addition to any other provisions contained within the City of Albany Local Planning Scheme 1, the Residential Design Codes (R-Codes) and the Building Code of Australia.
- 3) Landowners or development proponents seeking to vary the requirements of this policy or the relevant Detailed Area Plan must demonstrate how the policy objectives are to be achieved as part of any application for development.
- 4) This policy includes general development and design criteria for the following lot types:
 - a) Cottage/R30 lots/Rear laneway lots;
 - b) Lots adjoining areas of public open space; and
 - c) Corner lots.

Policy Statement

Cottage/R30 Lots/Rear Laneway Lots

The detailed design of rear laneways shall be considered during the subdivision process, with the laneways being designed and constructed in accordance with the following design criteria:

- 1) Laneways shall have a minimum width of 6.0m;
- 2) Corner truncations to the street shall be provided with a minimum of 2.0m x 2.0m;
- 3) Laneways shall be through roads with no 'dead-ends', the length shall be kept to a minimum and designed to allow for good visibility from one end of the laneway to the other;
- 4) Laneways shall allow for two-way traffic;
- 5) Laneways shall be designed to include good street lighting from lighting poles, with bollard lighting not considered acceptable. The design shall ensure that light spill into residential lots is minimised;
- 6) On street car parking shall be provided along the primary street for use by visitors to the dwellings. Appropriate line making shall be provided to indicate there is no parking within the laneway.

Vehicle Access and Garages

The following criteria shall be applied for those lots with rear laneways subject to this policy, in addition to those required by the R-Codes:

- 1) All vehicle and garage access shall be taken from the laneway; and
- 2) Where located on a corner, garages shall be located at the furthest point from the intersection of the street and laneway and shall be designated on Detailed Area Plans;
- 3) Development over a garage is required to ensure personal and property safety within the laneways as follows:
- 4) Identification of lots at both ends of lanes and at the junction of laneways where provision for rear studio units is required;

- 5) Ensuring that these studio units are designed for independent occupation, have good sized windows overlooking the lane and have an independent entry from the street or lane;
- 6) Development above a garage is encouraged, as follows
 - a) Examples of development may include a studio apartment, ancillary accommodation or an area to be used for the purpose of a suitable home occupation.
 - b) Development over a garage will not be included in any calculation of the developments site coverage.
 - c) Any balcony over the garage can be used in the calculation of the sites courtyard area.

Dwelling Design

Dwellings should be designed to address all street frontages and laneways through appropriate window treatments and shall consider the following:

- 1) Large areas of blank wall on areas with frontage to or visible from the street or laneway shall not be permitted;
- 2) Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the rear laneway
- 3) Windows and openings shall be required to address secondary streets

Setbacks

Rear

Garages shall have a 1.0m minimum and a 1.5m maximum setback from the rear laneway and may be permitted with a nil setback to the side boundary in the location designated on the Detailed Area Plan.

Development above a garage should be setback a minimum of 1.0m from the laneway

The remainder of the dwelling should be setback to provide a variation to the building line with a minimum setback of 2.0m from the laneway

Front

Dwellings should have a 2.0m minimum setback (averaged at 3m) from the primary street with open sided porches permitted to have a 1.5m minimum setback. No averaging is required for open side porches.

Sides

Boundary walls are permitted for two thirds of the length of the southern or western boundary, in addition to a nil setback for the garage or as otherwise specified on a Detailed Area Plan. A nil setback to the side will not be permitted for a secondary street.

The relevant provision of the R-Codes shall apply to northern and eastern boundaries

Secondary Street

Dwellings on corner lots shall have a 1.5m minimum setback from the secondary street and be designed to address the street

Lots Adjoining Public Open Space (Subdivision Guidelines)

Subdivision layouts should be designed so that areas of public open space are fronted along all boundaries by streets, with lots orientated to overlook areas of public open space. Whilst not desirable, the City acknowledges that there may be situations where lots directly abut areas of public open space. In these instances, the following should occur:

- 1) The boundary between the lots and the public open space should be clearly demarcated; and
- 2) As a minimum, a 600mm difference should be provided between the ground level of the open space and the finished ground level of abutting lots unless exceptional circumstances occur. In this instance individual Detail Area Plans can modify this design criteria; and

- 3) The difference in ground levels provides increased privacy and security for those living on the abutting properties and provides for surveillance of the open space from the properties.

Passive Surveillance

The following design criteria shall be applied for those lots that abut an area of public open space subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans:

- 1) Principle habitable spaces of each dwelling should be located to ensure that views of adjoining open space are available;
- 2) At least one habitable room window, with a minimum size of two square metres, shall address the open space
- 3) Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the open space, in addition to a window at ground floor level
- 4) Carports and Garage may not abut the public open space in order to encourage an active interface

Fencing

A minimum of 75% of the length of the fencing provided along the common boundary with the public open space shall be visually permeable above 1.2m to a maximum height of 1.8m.

Windows or active habitable rooms should be located to address the visually permeable portion of the fence.

Corrugated fibre cement sheeting is not permitted

Corner Lots

The following criteria shall be applied for those corner lots subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans:

- 1) No entirely blank walls shall be permitted for any storey that addresses a street;
- 2) At least one habitable room (major opening) window shall address the area of permeable fencing fronting the secondary street;
- 3) Where a two storey dwelling is proposed, at least one habitable room window on the upper floor shall address the street frontages, in addition to the window on the ground floor level;

Development Standards

Dwellings shall address both street frontages through respective elevation treatments and design. This shall be achieved using the following criteria:

- 1) No entirely blank walls shall be permitted for any storey that addresses a street;
- 2) A minimum of 50% of the length of the fencing provided along the boundary with the secondary shall be visually permeable above 1.2m to a maximum height of 1.8m.
- 3) At least one habitable room (major opening) window shall address the area of permeable fencing fronting the secondary street;
- 4) Where a two storey dwelling is proposed, at least one habitable room window on the upper floor shall address the street frontages, in addition to the window on the ground floor level;

Crossovers and Garage/Carport Location

Crossovers and driveways may be permitted from either road frontage, but shall be located at the furthest point from the intersection of the two streets.

Variations

It is recognised that individual lots will have site specific characteristics which will require further variation of the provisions of the R-Codes. This is particularly evident with regard to street and side setbacks, the location of building envelopes, vehicular access, the provision of front fencing and retaining walls. In such instances a more specific Detailed Area Plan can be prepared and included as part of Schedule 1.

All land identified in Schedule 2 shall comply with the general provisions of this Policy only.

Where a Detailed Area Plan is included as part of Schedule 1, the provisions identified in that Plan shall take precedence over the General Provisions of this Policy and the Residential Design Codes. Where the Detailed Area Plan is silent on an issue, the general provisions of this Policy and then the Residential Design Codes shall provide direction in that instance.

Schedule 1

No	Locality	Lots
1	McKail	Lot 2 South Coast Highway
2	Lower King	Lot 2 Mason Road/Lower King Road, Lange
3	Lower King	Lot 94 & 95 The Esplanade
4	Lower King	Oyster Harbour Village Centre
5	Lower King	Lots 42 and 47 Lower King Road, Bayonet Head
6	Lockyer	Lot 247 Cull Road, South Lockyer
7	Little Grove	Lot 4 Jeffcott Street, Little Grove
8	Yakamia	Lot 10 and 322 Galle Street ,Yakamia
9	McKail	Lots 32 & 37 Silver Street, McKail
10	Albany	Stirling Street

Detailed Area Plan 1 - Lot 2 South Coast Highway

Design Elements

The following matters apply, where required in the design and construction of a residence or outbuilding on lots identified within the boundary of this Detailed Area Plan (DAP):

1. All dwellings must include construction of a double garage or carport;
2. Unless otherwise approved by the City of Albany, all dwellings, garages and carports shall be constructed within the nominated building envelopes;
3. Alternative building envelope and garage/carport locations may be approved by the City of Albany where considered appropriate, having regard for improved streetscape outcomes, improved sustainability outcomes and pedestrian/traffic safety matters;
4. Where variations are sought, the proponent must provide adequate information for the City of Albany to assess the appropriateness of the variations against the matters listed above;
5. At least one major opening shall be installed on all northern elevations to maximize access to the northern sun;
6. Dwellings constructed on the 4 pack lots (lots 405 and 406) contiguous with the pedestrian access way shall have at least one (1) major opening overlooking the pedestrian access way to ensure passive surveillance and activation;
7. Two storey development is permitted on all lots except for that area south of the demarcation line shown on Lots 240-252 to ensure access to winter sun for private open space.
8. The R30 grouped housing site (Lot 407) shall be designed so that it provides for passive surveillance opportunities of the adjoining laneway eg. Visually permeable fencing and suitable openings in the building elevation that provide for 'Eyes on Street';
9. Single residential dwellings on corner lots are encouraged to incorporate and independently occupied studio above the garage to assist in providing surveillance of the laneway.

R Coding

The Residential Density Code which applies to the land is R30 for the grouped site and 4 pack lots (Lots 405-406) and R30/40 or R30/40/50 (with intergenerational housing) for all other lots in the DAP area.

R Code Variations

The city of Albany, Residential Design Codes and associated Residential Development Guidelines for the City of Albany are varied as shown on this Detailed Area Plan. The requirements of the City of Albany Scheme, R-Codes and Guidelines shall be satisfied in all other matters.

Setbacks

Setbacks for the construction of improvements upon the land will not be other than in accordance with the following:

For Lots 201-210, 211-216 & 227-239:

Primary Street / P.O.S: 2.0 metre minimum and maximum dwelling setback.

For Lots 217-226, 240-252, 253-258 & 399-404:

Primary Street / P.O.S: 3.0 Metre minimum and maximum dwelling setback.

For Lots 201-210, 211-216, 227-239, 240-252 & 407:

Rear / Laneway: 2.0 metre minimum dwelling setback.
2.0 Metre minimum garage / carport setback.
2.5 metre maximum garage / carport setback.

For Lots 253-258 & 399-404:

Rear / Laneway: 1.0 metre minimum dwelling setback.
500 millimetre minimum garage / carport setback.
1.0 metre maximum garage / carport setback.

Site Coverage

All construction on the land will ensure that at least 40% of the site comprises Open Space.

Driveways

The maximum width of any crossover shall be 5 metres.

Outbuildings and Studios

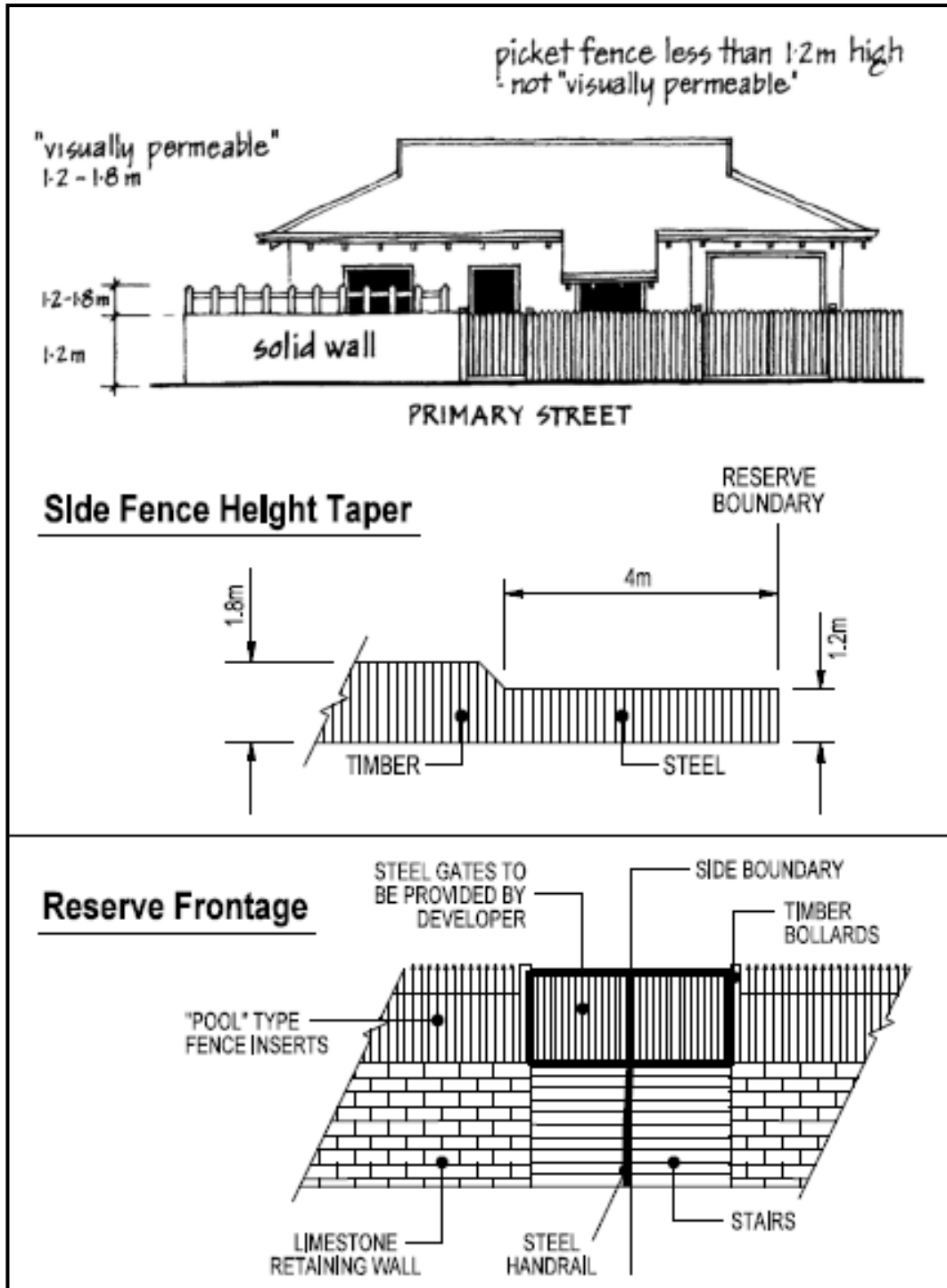
Outbuildings and Studios may be 2 storeys in accordance with Table 3 of clause 3.7.1 of R Codes to ensure activation and passive surveillance of laneways.

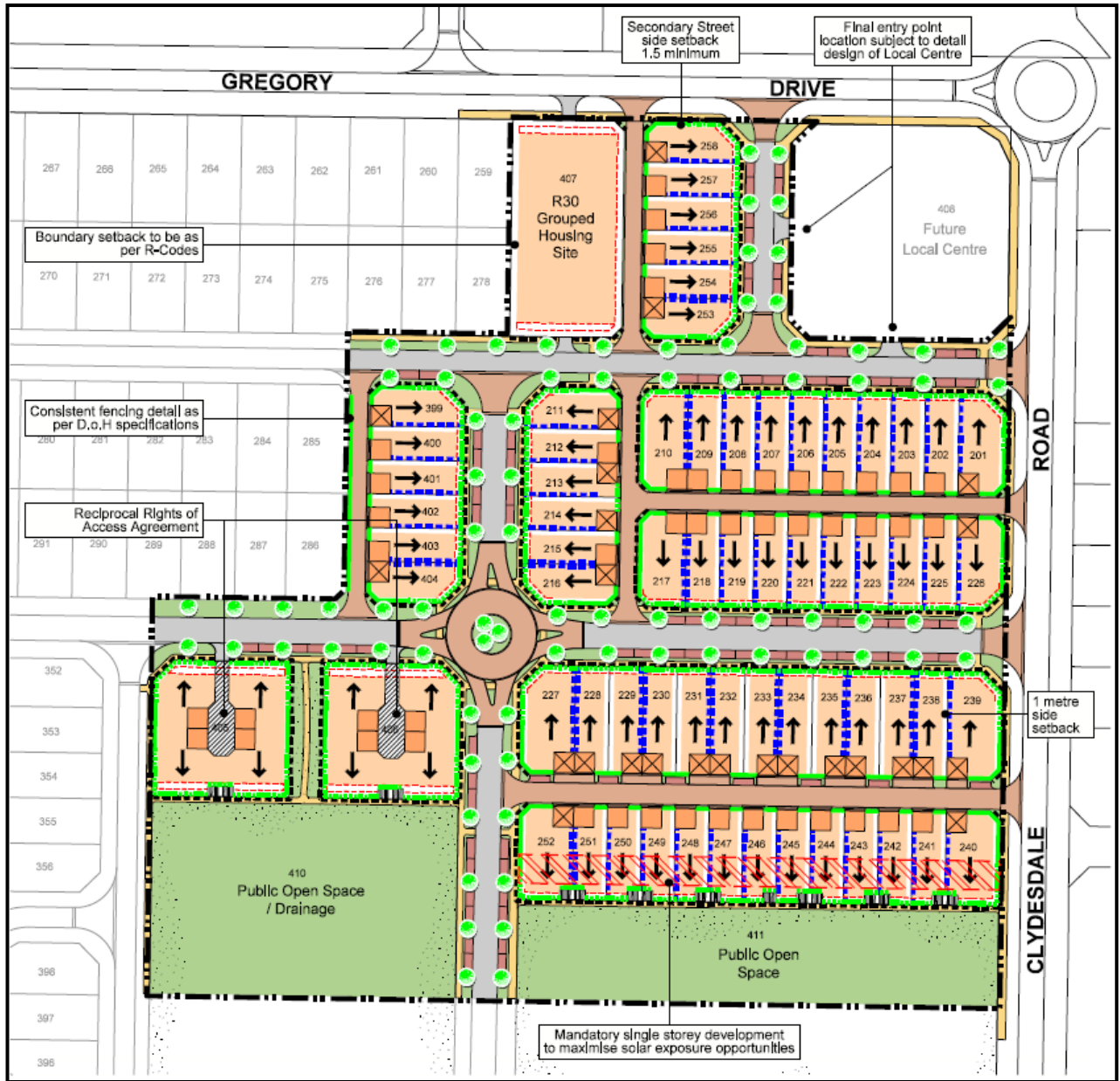
Estate Fencing

Where provided by the Vendor, estate fencing is not to be removed or altered in any way.

All side fencing forward of the building line are to match open style permeable front fencing at the expense of the purchaser.

Boundary fencing on secondary street frontages from the front setback to the building line to match that installed by the developer along public open space boundary or primary street boundary (see "Side Fence Height Taper" and "Reserve Frontage" diagrams). Fencing along public open space boundary will be installed by the vendor.





LEGEND			
	D.A.P. Boundary		Nominated minimum / maximum residential front setback to the primary subdivision road or Public Open Space (Refer setbacks variation schedule for details)
	No Vehicle Access		Nominated minimum 1.5m and average 2.5m residential front setback to the primary subdivision road or Public Open Space
	Estate Fencing: Permeable, Non-Permeable		Preferred Garage or Carport Location
	Nominated Residential Zero Metre Side Setback		Designated Garage or Carport Location
	Building Envelope		Mandatory single storey development to maximise solar exposure opportunities
	Building Orientation		Indicative Tree Planting
	Visitor Car Parking		Driveway Crossover
			Footpath / Dual-use Path
			Pedestrian Access via a Stairway

Detailed Area Plan 2 - Lot 2 Mason Road/Lower King Road, Lange

Lots 65- 68

- A minimum 7m setback for Lower King Road
- The outdoor living area for the dwelling closest to the 7m setback area abutting Lower King Road shall address Lower King Road.
- All other setbacks shall be in accordance with the Residential Design Codes
- No direct vehicular access shall be permitted to Lower King Road.
- No cleaning of remnant vegetation outside the building envelopes unless approved by Council.

Lots 45-46 and 55-60

Fencing

- A minimum of 75% of the length of the fencing provided along the common boundary with the public open space/drainage reserve shall be of 1.8m brick piers with open metal picket infill above a 1.2m high portion of face brick clad wall.
- The maximum height of the fence shall be 1.8m. Windows or active habitable rooms should be located in the visual permeable portion of the fence.

Setbacks

- A minimum 1.5m setback for all boundaries abutting public open space or drainage reserves.
- All other setbacks to be in accordance with the requirements of the R Codes.

Outdoor Living Areas

- The outdoor living areas required under clause 3.4.2 of the Residential Design Codes are encouraged in locations along boundaries abutting the public open space/drainage reserve.

Variations

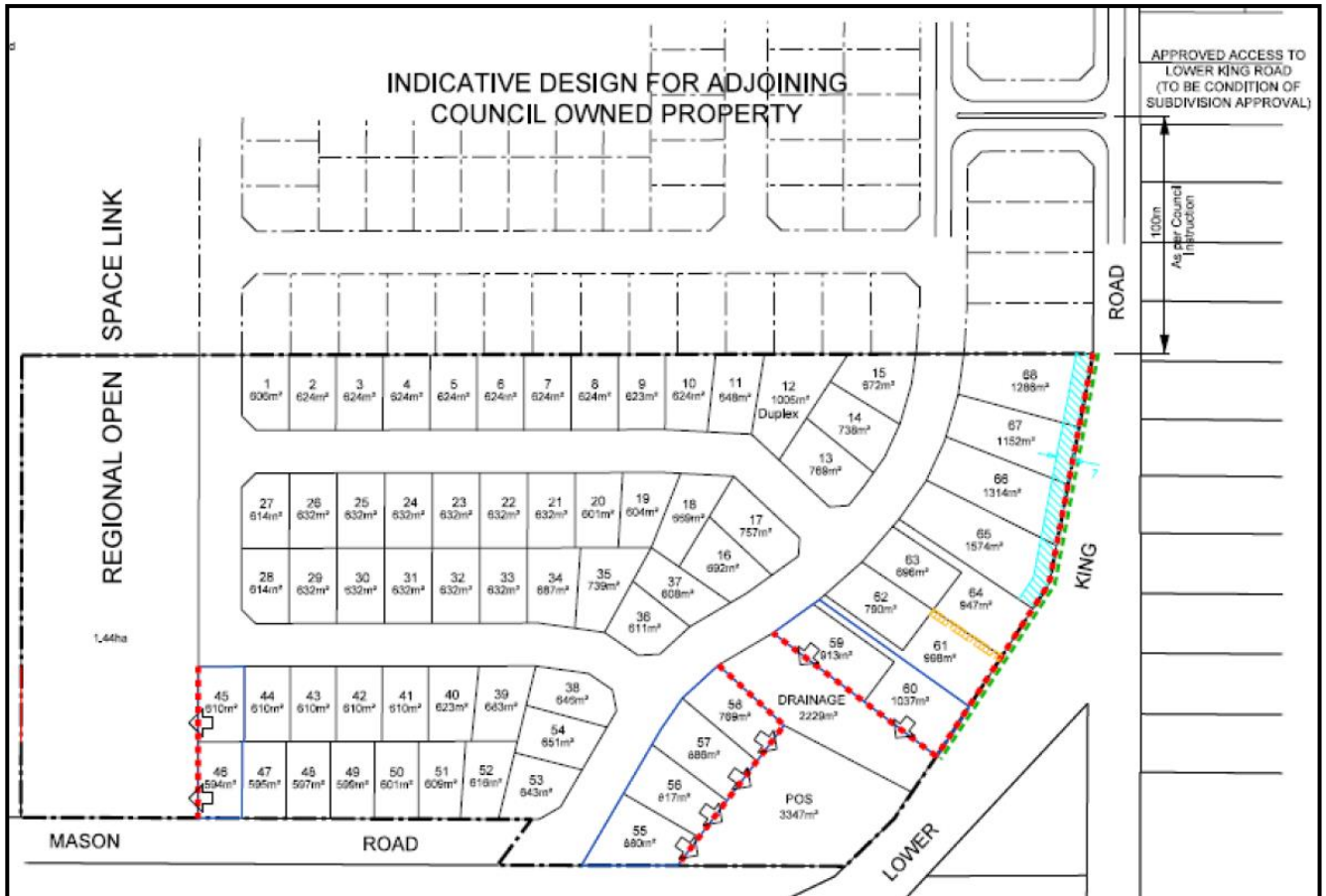
Variation to the DAP can be approved by the City of Albany following consultation with adjoining owners.

Additional Requirements – Landscaping-Landform

Lots 46-53 and Lots 55-68

- Retaining walls shall not be permitted on lot boundaries unless approved by the Local Government.
- Building footprints shall be located and designed to minimize disturbance to the existing landform.
- Remnant vegetation shall be retained on site where practical for Lots 55-68

Council shall require the houses on lots 1-15, 67, 68, 27, 28, 44-53, 55-60 to be constructed to Australian standard AS 3959.



Detailed Area Plan 3 - Lot 94 & 95 The Esplanade



Detailed Area Plan 4 – Oyster Harbour Village Centre

INTRODUCTION: This Detailed Area Plan (DAP) applies to the Oyster Harbour Local Centre shown on the Bayonet Head Outline Development Plan.

If responds to the City of Albany's Detailed Area Plan Policy and seeks to facilitate its aims and objectives to the extent that these are applicable. It is to be read in conjunction with the Oyster Harbour Village Centre Design Guidelines.

The following provisions apply in supplement and, in some cases, in variance to the 'Acceptable Development' provisions of the R-Codes and the Planning Scheme. Development which complies with the provisions of the DAP is deemed 'Acceptable' and is not subject to consultation requirements which may otherwise apply under the Codes for that element.

PROVISIONS

Land Use

Land use permissibility shall be as per the "Local Shopping" zone with the exception that Single House, Grouped Dwelling and Multiple Dwellings shall be 'A'. Child Care Centre (unlisted in the Scheme) shall be 'P'.

The maximum retail floorspace permitted in the Centre shall be in accordance with the City's Activity Centres Strategy and the Oyster Harbour Centre design Guidelines to be adopted as Policy by Council.

The whole site is coded R60 in accordance with the Approved Interim Outline Development Plan.

Setbacks and Building Envelope

Buildings shall orient to and address the street or public open space they abut, and shall provide surveillance of all such spaces through the location of doors and windows. Surveillance of parking areas shall also be provided.

Buildings shall comply with the setbacks nominated on the DAP and shall generally be contained within the notional lot boundaries.

A maximum building height of 2 storeys (plus roof space) shall apply except at 'Landmark Element' locations where a maximum building height of 3 storeys (plus roof space) shall apply.

All building footprints shown are notional only.

Vehicular & Pedestrian Access

Vehicular access points and cross easements are indicative only and shall be subject to detailed design and approval.

Any development shall also be required to demonstrate how access and easement provisions facilitate implementation of the plan and coordinated access for abutting sites.

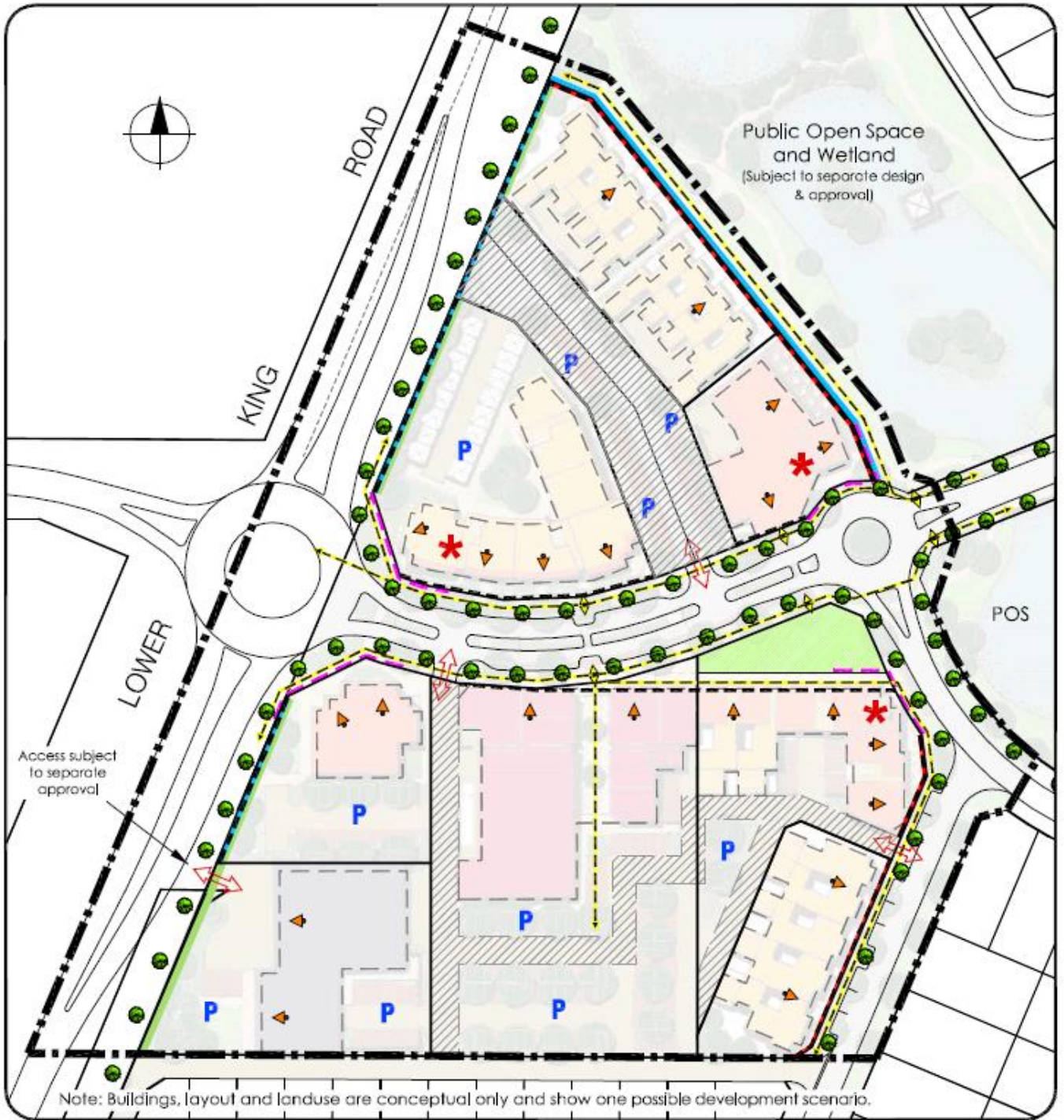
Pedestrian access shall generally be provided in accordance with the DAP. Exact location and design shall be subject to detailed design and approval. External pedestrian access shall be provided to all buildings and tenancies from the street.

Built Form & Services

Buildings fronting the street, Public Open Space or Optional Green Space and built within 1.5m of this boundary shall provide a canopy or verandah of a minimum depth of 2.5m along that frontage.

Service areas, bin enclosures, storage areas and drying courts are screened from view from the adjacent street.

Landmark features may include towers, additional storey heights, raised parapet features, projecting wall planes, projecting roof elements, double height fenestration or other architectural elements to mark the corner.



Legend

	DAP Boundary		Primary Building Orientation Surveillance Required		Preferred Access Point		Landmark Element
	Notional Lot Boundary		Mandatory Nil Setback to street or green space where provided. Requires surveillance, primary access, articulated, continuous facade, owing overfootpath.		Designated Crossing Points		Indicative street trees locations (Subject to detailed design)
	Notional Building Footprint		Nil - 4m Setback to street or green space where provided. Requires surveillance, primary access, articulated, continuous facade, owing overfootpath.		Landscaping Required		Indicative street parking (Subject to detailed design)
	Notional Cross Easement		Secondary Street Setback: minimum 3m no blank walls. Requires surveillance, articulation required, services to be screened.		Elevation 0.5-1.5m required above park Open style estate fencing only - not to be done without approval of the Council.		Optional Green Space
	Preferred Parking Location		Pedestrian connection				
			Building to address corner				

Location Plan (Not of Scale)

Detailed Area Plan 5 – Lots 42 and 47 Lower King Rd

INTRODUCTION: This detailed Area Plan applies to Cottage (R30) lots and those abutting Public Open Space.

It responds to the City of Albany's Detailed Area Plan Policy and seeks to facilitate its aims and objectives.

The residential Density Code which applies to the lots is R30.

The following provisions apply in supplement or, in some cases, in variance to the 'Acceptable Development' provisions of the Residential Design Codes (R-Codes). Development which complies with the provisions of the DAP is deemed 'Acceptable' and is not subject to consultation requirements which may otherwise apply under the Codes for that aspect.

PROVISIONS

Dwelling Design

- Dwelling design shall address all street frontages (including secondary street frontages) through the location of windows and doors.
- Large areas of blank wall facing streets (primary or secondary) are not permitted.
- Where two-storey dwellings are proposed, at least one major opening to a habitable room on the upper floor shall address the laneway to provide surveillance.
- The location of studio units and rooms above or beside rear garages is encouraged to provide surveillance of the laneway. Where provided, these must provide surveillance of the laneway from at least one major opening to a habitable room. Developments incorporating this element are subject to a reduced Open Space requirement of 25%.

Setbacks

Laneways

- Garage: Minimum / Maximum 1m.
- Other buildings abutting the laneway must be setback a minimum of 1m from the laneway.
- Laneway fencing to be consistent with garage setback Minimum / Maximum 1m.

Dwelling

- Front Setback: Minimum: 2m to dwelling; (1.5m to open sided porch or verandah), average (excluding open sided porch or verandah) 4m.
- Side Setback: In accordance with R-Codes, though walls on boundaries are to be located on nominated nil setback boundary shown. Consideration will be given to double-storey walls on boundaries abutting a nominated nil setback boundary on the adjoining lot based on the Performance Criteria of the R-Codes, though these should generally not exceed 12m in length and 6.5m in height.

Secondary Street & Green Space Setback

- Minimum 1.5m unless a front setback in which case, as above.

Lots abutting Public Open Space / Green Space



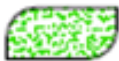









- Retaining and Estate fencing is to be provided by the developer along all lot frontages to public open space / green space. It is to be a uniform design, 75% open style and may not be altered without the approval of the Council.
- Dwellings abutting public open space / green space must provide surveillance of the space through the location of direct view from a major opening (Minimum 2m²) to a habitable room. Where a two storey

dwelling is proposed, surveillance from at least one habitable room on the upper floor is required, in addition to the ground floor level.

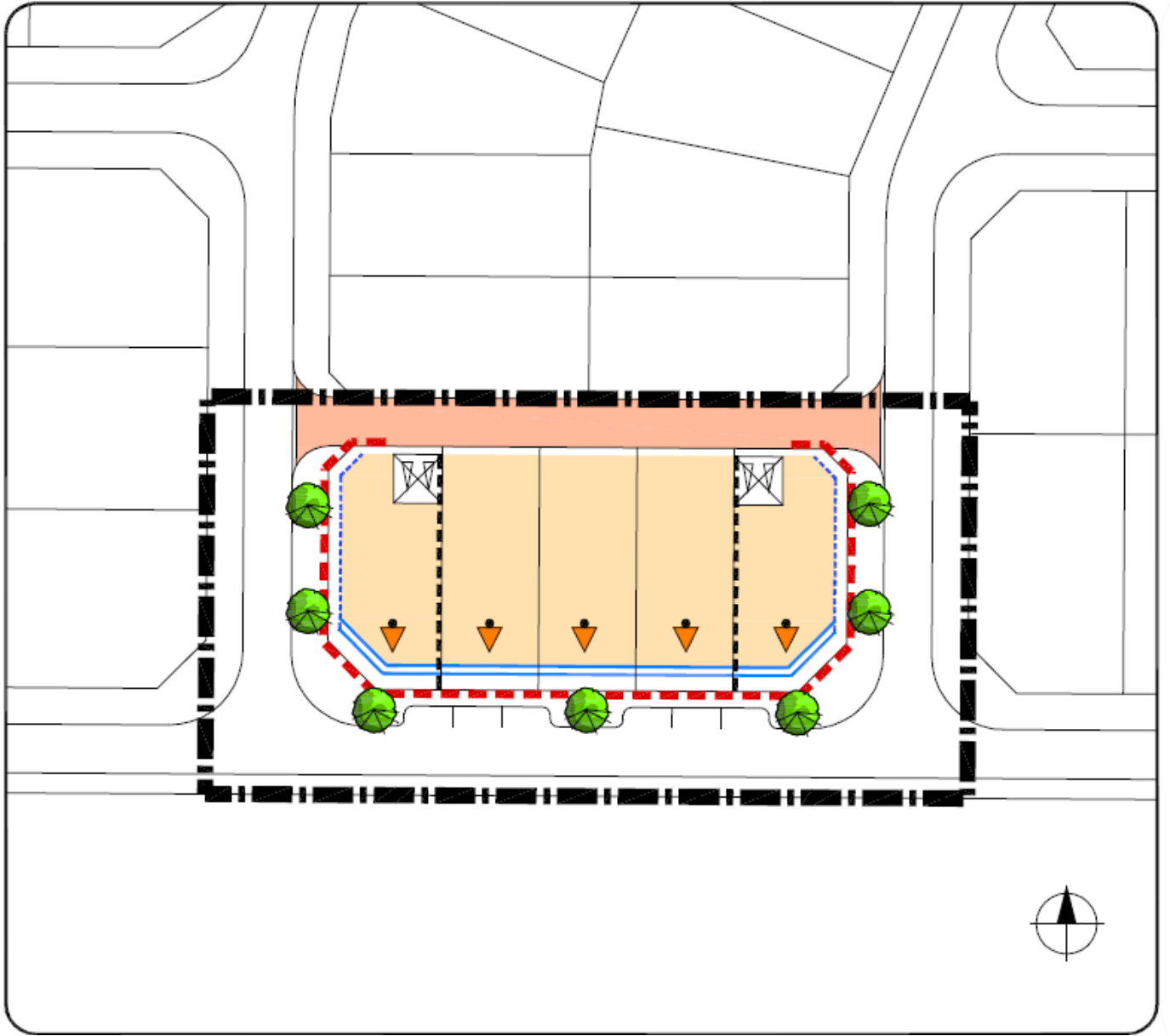
Corner Lots

- A minimum of 50% of the side boundary is to be unfenced, or visually permeable above 1.2m to a maximum of 1.8m.

Legend

	DAP Boundary
	R30
	Green Space
	Nominated Nil Setback Boundary
	No Vehicular Access
	Nominated Primary Street Setback minimum 2m, average 4m, Visually Permeable fencing only.
	Nominated Secondary Street Setback minimum 1.5m. 50% boundary fencing to be visually permeable above 1.2m.
	Visually Permeable Estate Fencing May not be altered without Council approval. Surveillance required, no blank walls permitted.
	Designated Garage Location Min. / Max. 1m
	Nominated Building Orientation
	Indicative street trees locations (Subject to detailed design)
	Indicative street parking (Subject to detailed design)

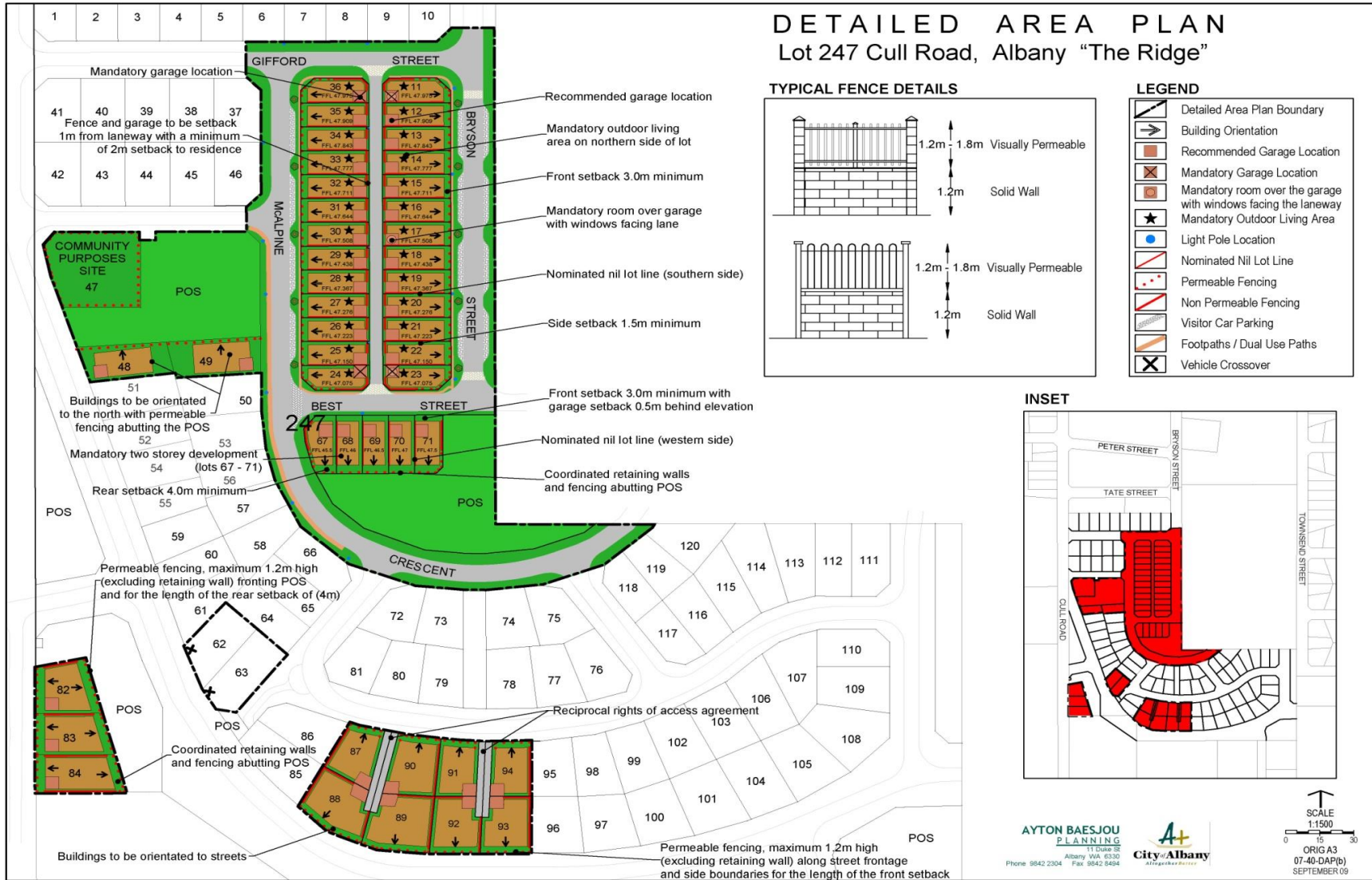








Detailed Area Plan 6 - Lot 247 Cull Road, South Lockyer



1. COTTAGE LOTS 11 – 36 (R30 SINGLE DWELLINGS)

- Room over garage: lots 11, 17 & 23 shall include a room over the garage with windows facing the rear lane to provide passive surveillance of this area.
- Private outdoor living area: This area shall be located at a mandatory northern location of the lot to receive winter sun.
- Nominated Nil Lot Line: The nominated nil lot line is on the southern boundary, with the exception of Lots 23 & 24 where a 1.5 metre side setback shall apply.
- Overshadowing: Notwithstanding the R Codes, development on the lot shall be designed so that its shadow cast at midday, 2 June onto the adjoining property's outdoor living area, does not exceed 50% (ie. 12m² of the R Codes minimum requirement).
- Rear laneway setback: The garage and fencing shall be setback a minimum of one metre in order to facilitate access to the garages, rubbish removal and surveillance. The residential dwelling shall have a minimum 2 metre rear setback.
- Garage doors are to be designed so that they do not protrude into the rear laneway.
- Front Fencing: Any front fencing facing the primary street including any corner truncation, and for 2 metres minimum along any second street for a corner lot, shall be 1.2 metres maximum height (excluding any retaining wall on which the fence is constructed). The fence shall be constructed of materials and colours to complement the dwelling and public reserve, with preference given to pillar and rail fencing (colorbond metals, corrugated fibre cement, brushwood and timber lap fences are not permitted).
- Side Fencing: For corner lots (Lots 11, 23, 24 & 36) side fencing shall be a 1.8 metre maximum height commencing from the 2 metre minimum from the corner lot's front truncation. Materials and colours of the fencing shall complement the dwelling and public reserve and corrugated fibre cement, brushwood and timber lap fencing are not permitted.
- Rear Lane Fencing: Rear lane fencing shall be 1.8 metres maximum in height with preference given to BlueScope Steel Neetascreen Plus (or similar) in Colorbond 'Sandbank'. The steel latic top section allows for opportunities for passive surveillance of the rear lane.

2. POS COTTAGE LOTS 67 – 71 (R30 SINGLE DWELLINGS)

- Lots 67 to 71 are cottage lots adjacent to Public Open Space where two-storey development is mandatory with vehicular and pedestrian access from the street.
- The front setback shall be setback 3 metres minimum from the street and the garage shall be setback 0.5 metres behind the elevation. Verandahs, porches and balconies can be used to reduce the visual impact of the garages on the street.
- The rear setback shall be 4 metres.
- The elevation facing the park shall have at least one habitable room and major opening with verandah, pergola or balcony.
- The developer will provide permeable fencing, a maximum of 1.2 metres in height (excluding any retaining wall on which it is built) where it directly abuts POS. The fencing shall consist of pier and

railing construction with the piers being of the same material as the retaining wall. Non permeable fencing of a compatible construction and colour shall be permitted along a portion of the side boundary as shown on the Detailed Area Plan.

3. PACK LOTS 87 TO 94 (R20 SINGLE RESIDENTIAL)

- Lots 87 to 94 are greentitle lots in a 'four-pack' layout. A centrally located access leg provides a reciprocal right-of-way vehicular access to each lot.
- Vehicular access to the garage shall be from the internal access leg. Access is not permitted from the front street.
- Permeable fencing a maximum of 1.2 metres in height (excluding any retaining wall on which it may be built) shall be provided along the street frontage and along the side boundary for the distance of the front setback (4 metres).

4. COMMUNITY PURPOSES SITE LOT 47

Lot 47 is designated as a site for a 'Community Purposes Site'.

The design for the building shall ensure:

- I. a built form that is in a landscaped setting;
- II. a built form where the elevations are consistent in design quality;
- III. a visible public entry and sheltering porch or verandah feature;
- IV. openings and 'active' habitable rooms face the streets and park (any service area, such as bin stores, shall be in the least visually obtrusive location and fully screened from public view);
- V. publicly accessible areas on the lot (such as entries and any car parking) shall be well lit for use after dark, and any possible 'hiding' areas shall be avoided (such as dark building recesses and dense shrubs/hedges);
- VI. signage shall be integral to the development and simple in design.

5. LOTS 62 & 63 – DRIVEWAY ACCESS

- Driveways on lots 62 & 63 Mueller Street to be located adjacent to the western boundary to maximise sight distance.

6. LOTS 82 – 84 ABUTTING POS (R20 SINGLE RESIDENTIAL)

- Lots 82 – 84 back onto POS and require co-ordinated retaining walls and permeable fencing.
- The elevation facing the POS shall have at least one habitable room and major opening with verandah, pergola or balcony.

ENHANCING BUILDING PERFORMANCE

Development should be designed to minimise heating and cooling costs; improve upon energy efficiency and reduce water consumption. Listed below are recommended items for inclusion in the design of a dwelling to ensure enhanced environmental performance.

- Living areas and the private outdoor living area should be located, where possible, to face north and receive winter sun.
- Openings should be appropriate sizes and shaded to reduce solar heat gain in summer and admit solar gain in winter.
- At least one bathroom should include an openable window to the outside.
- Openings should be located to allow breezes to cross ventilate and passively cool the dwelling and reduce reliance on mechanical cooling.
- The dwelling's living and sleeping areas should be capable of being closed from each other to allow for any localised heating and cooling.
- A gas hob should be specified.
- Water efficient fixtures (for example taps and shower heads) should achieve a minimum 3 star rating.
- Electrical appliances (such as fridges and washing machines) should achieve a high star energy rating.
- A rainwater tank should be installed to use stormwater, such as from the roof. The tank shall be designed as an integral feature of the dwelling and be screened from public view or buried.
- A solar hot water system should be installed to receive sufficient solar gain.

Where the solar panels are publicly visible, a split system is required with the storage tank located elsewhere. As far as practicable, the solar panels shall integrate with the roof, be frameless and mounted flush with the roof. All solar collectors, tanks (where permitted) and associated mounting equipment shall be colour co-ordinated with the roof to minimise adverse visual impacts.

Detailed Area Plan 7 – Jeffcott St

Aims

The primary aims of the DAP are to:

1. Minimise the removal of the natural topography and vegetation;
2. Ensure adequate surveillance of public spaces;
3. Provide a quality streetscape that is reminiscent of the Little Grove character of maintaining vegetation and the open feel;
4. Encourage the incorporation of sustainable features into dwelling design; and
5. Create an attractive community with a high quality of lifestyle.

Statutory Compliance

1. The City of Albany has adopted this DAP in accordance with the Local Planning Scheme and it should be read in conjunction with the Scheme Text and Planning Policies, Little Grove Structure Plan and the Residential Design Codes.

R- Coding

1. The Residential Density Code which applies to these lots is R20.

R- Code Variations

The Town Planning Scheme and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown in the notations on this DAP and in the Design Elements below;
2. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.

Design Elements

Front setbacks and Streetscape (Wilson Street)

1. In order to maintain a consistent streetscape, allow the efficient use of the lots and to encourage the location of courtyards with a northern aspect, dwellings shall have a 3.0m minimum setback from Wilson Street (no averaging).

Side Setbacks (Jeffcott Street)

1. Most of the lots located adjacent to Jeffcotte Street are orientated to an internal road, Right of Way of Battle axe leg; therefore Jeffcott Street shall be treated as a secondary street. Dwellings shall have a minimum 1.5m setback from Jeffcott Street (no averaging).

Outdoor Living Areas

1. Where ever possible, courtyards should be located with a northerly aspect.

Access

1. Shared crossovers identified on the Detailed Area Plan are to be provided by the developer to the satisfaction of the CoA.
2. Direct vehicular access to Jeffcotte Street and Wilson Sreet is prohibited unless via an existing crossover provided by the developer.
3. A shared crossover provided as part of the subdivision is to be the sole vehicular access to that property.

Passive Surveillance

In order to achieve the principle of passive surveillance – corner lots, lots adjoining POS and those lots overlooking the centrally located Pedestrian Access Way shall provide at least one habitable room window, with minimum size of two square metres that addresses the applicable feature.

Corner Lots

1. Due to their prominence in the neighbourhood, and requirements to maintain passive surveillance of streets, those dwellings situated on a corner lot shall be designed to address both streets.
2. No entirely blank walls shall be permitted for any storey that addresses a street and/or laneway.

Lots adjoining POS

1. Courtyards are encouraged adjacent to POS to increase activity along the POS edge.

Estate fencing











1. Fencing on boundaries facing POS will be provided by the developer and shall not be altered or replaced by the landowner. This fencing will be designed and constructed in accordance with the two types of fences denoted on the DAP as follows:
2. Type 1 fencing; Front fences along Wilson Street to be a maximum of 900mm high.
3. Type 2 Fencing; A minimum of 50% of the length of the fencing provided along the boundary shall be visually permeable to a maximum height of 1.2m. In the case of a corner lot. The permeable portion of fencing shall be located toward the corner.
4. Type 3 Fencing; A minimum of 75% of the length of the fencing provided along the common boundary with the POS shall be visually permeable above 1.2m to a maximum height of 1.8m.

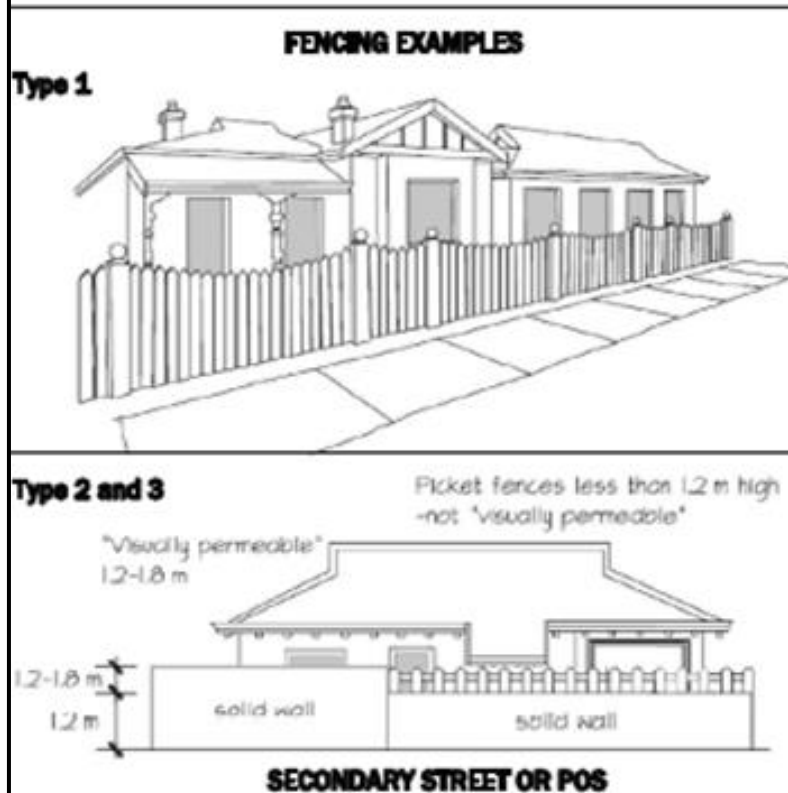
Rainwater Tanks

1. Each lot is to have a minimum 5,000 litre water tank to be plumbed into the dwelling for house-hold use. The rainwater tank is to direct any overflow to a 1.5m X 1.5m soak-well to take excess stormwater.

Conservation Area

1. No additional clearing is to occur within the designated conservation area noted on the detailed area plan.

LEGEND	
	Lots with Existing Dwellings
	Fence Type 1
	Fence Type 2
	Fence Type 3
	Public Open Space
	Conservation Area
	Passive Surveillance
	Shared Crossover
	Development Exclusion Area
	Preferred Outdoor Living Area Location (non-specific)





Detailed Area Plan 9 - Lots 32 & 37 Silver Street, McKail

The Residential Density Code which applies to Lot 35 Le Grande Avenue is R30. The Residential Density Code applying to all other lots is R20. The R-Code variations and Design Elements in this DAP are only applicable to those lots to which the R20 density Code applies.

R-Code Variations

The Town Planning Scheme and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown in the notations on this DAP.
2. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.
3. The requirements to consult with adjoining or other owners to achieve a variation of the R-Codes, is not required where the variation is in accordance with notations on this DAP.

Design Elements

1. The dwellings (including patios and gazebos) and garages must be constructed within the nominated building envelope.
2. An alternative garage location to that shown on the plan may be approved by the Manager of Planning subject to its design meeting solar orientation and streetscape objectives as well as statutory requirements.

Front Setbacks and Streetscape

1. Dwellings shall have a 3.0m min setback from the primary street – no averaging
2. Open sided porches are permitted to have a 1.5m minimum setback from the primary street.
3. Garages are to be located behind or level with the front wall of the dwelling to ensure that the dwelling is the dominant feature of the streetscape.

Site Coverage

All construction on individual lots will ensure that 40% of the site comprises Open Sp[ace as defined by the R-Codes.

Outdoor Living Areas

Where ever possible courtyards should be located with a northerly aspect.

Corner lots

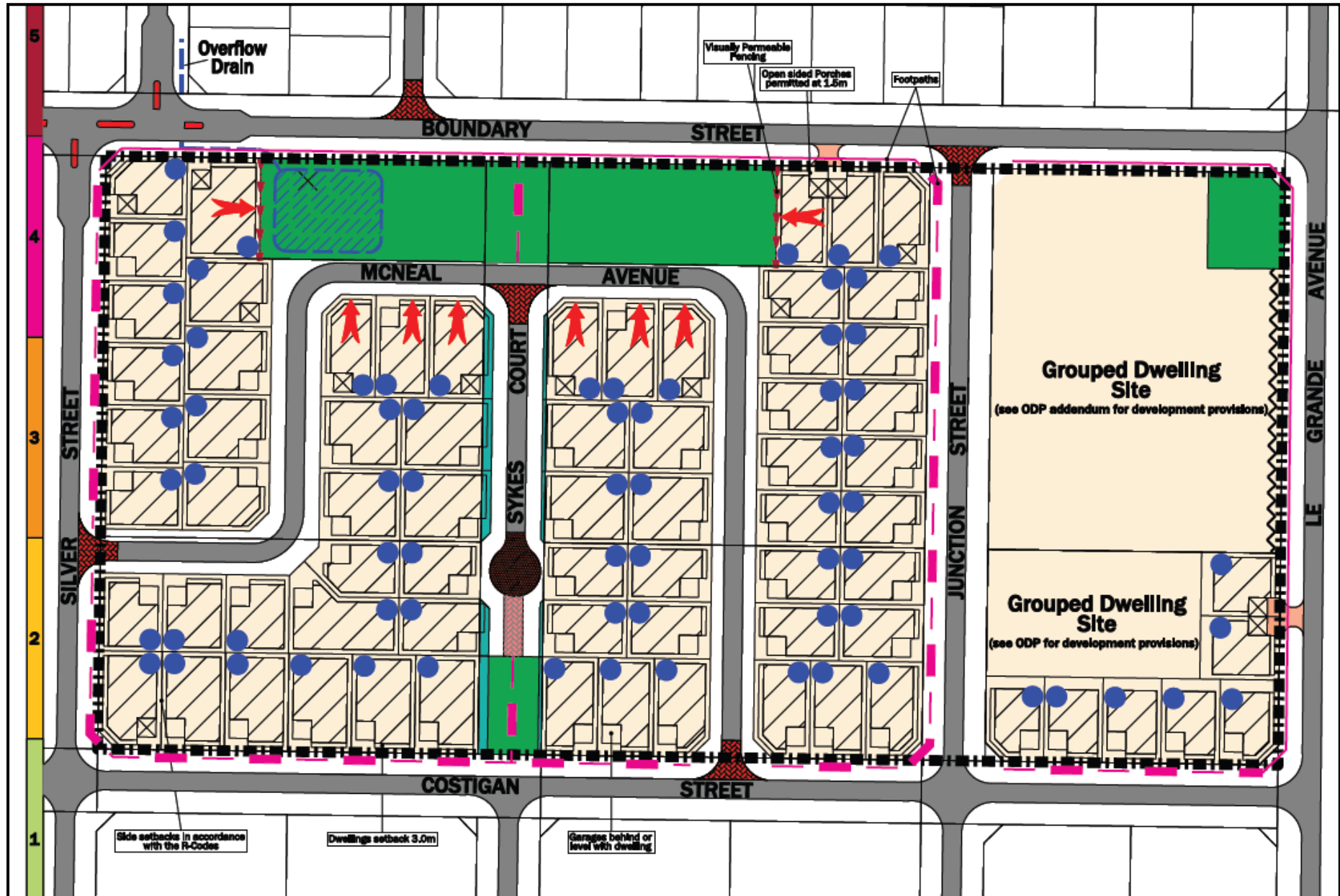
1. Due to the prominence in the neighbourhood, and requirements to maintain passive surveillance of streets those dwellings situated on a corner lot shall be designed to address both streets.
2. At least one habitable room window (ideally to a living room), shall be provided within the front half of the wall fronting the secondary street per storey.
3. A minimum of 50% of the length of the fencing provided along the boundary with the secondary street shall be visually permeable above 1.2m to a max height of 1.8m.

Lots adjoining POS

1. In order to achieve the principle of passive surveillance of POS areas at least one habitable room window with a min size of two square metres, shall address the POS for lots marked on the DAP.
2. Balconies and verandahs are encouraged to the front and rear of dwellings to provide for surveillance of the primary street and POS, whilst maintaining a reasonable level of privacy between dwellings.
3. Visually permeable fencing will be required for those lot boundaries abutting POS areas as further described in Council's DAP Policy.

Design Elements that can be applied mandatorily through conditions and/or development guidelines (sustainable features).

- Install water sensitive features such as under-eave rainwater tanks.
- Utilise front verandas porches;
- Install onsite drainage as the first step toward slowing stormwater down and allowing it to infiltrate into the earth.
- Use of energy efficient glazing and other building elements.
- Living areas with good solar access to the north.
- Install energy efficient fixtures such as hot water systems and rated appliances.



Detailed Area Plan 10 - Lot 14 Spencer Street

Objective:

To ensure development of Lot 14 Spencer Street, Albany is sympathetic to the built form of the former Activ Building (Building 1), Thrift Shop (Building 2), Cheyne Cottage and surrounding heritage properties and maintains existing view corridors from Frederick Street through the use of appropriate controls addressing building height, bulk, location, form, colour and materials.

A1 Relationship to Other Planning Instruments

This Policy is to be read in conjunction with the following planning instruments with relevant provisions of these instruments applied as appropriate to development of Lot 14:

- Central Albany Urban Design Policy
- Residential Design Codes of Western Australia

Where a provision of this Policy is inconsistent with a provision of the abovementioned planning instruments, this Policy will prevail to the extent of the inconsistency.

A2 Policy Statement

The specific policy requirements for development of Lot 14 are outlined in the provisions below.

A2.1 Development Guide Plan and Staging and Land Tenure Plan

A2.1.1 The Development Guide Plan and Staging and Land Tenure Plan for Lot 14 Spencer Street, Albany and adopted by the City of Albany forms part of this Policy.

A2.1.2 In order to meet the requirements of this Policy, development is to be in accordance with the Development Guide Plan and Staging and Land Tenure Plan.

A2.2 Building Setbacks

A2.2.1 The building setbacks to be used for new development on the site are shown on the Development Guide Plan.

A2.2.2 Street and driveway setbacks shown on the Development Guide Plan are fixed and not subject to reduction.

A2.2.3 Side and rear setbacks shown on the Development Guide Plan are the minimum permitted. Greater setbacks than provided on the Development Guide Plan are permissible, except in relation to nil setbacks.

A2.2.4 In order to maximise solar access, ventilation, streetscape and privacy buildings are to be built on the boundary where shown.

A2.2.5 All balconies, roofed patios and decks raised above 0.5m from the courtyard ground level are to be located within the building envelope shown on the Development Guide Plan.

A2.3 Streetscape

A2.3.1 The facade of any building fronting Spencer Street is to be designed to complement the appearance of the existing Buildings 1 and 2 in a manner consistent with "recognised heritage conservation guidelines and principles". The facade is to be built on the property line with the parapet wall height varied to accommodate the slope as shown by the existing buildings (see Figure 1).

- A2.3.2 Dwellings fronting Frederick Street (Lots C1 – C4 as depicted on the Development Guide Plan) are to be single storey in height at the street frontage (northern boundary) and be complementary to the bulk and character of the adjoining dwelling to the east.
- A2.3.3 All buildings are to have living areas (indoor or outdoor) overlooking the street and internal driveways.
- A2.3.4 Fencing along the Frederick Street boundary is to be of uniform construction, visually permeable (see through) and a maximum 0.9m above footpath height in front of any dwelling and 1.8m above footpath height elsewhere.
- A2.3.5 All garages and on-site parking areas are to be accessed from the internal driveway. No garages or carports are permitted on the Frederick Street frontage.
- A2.3.6 Buildings fronting Frederick or Spencer Street are to provide direct pedestrian access from the street elevation.
- A2.3.7 A view corridor looking across Norman House to the Penny Post and Existing Oak Tree on Lot 1 is to be maintained as shown on the Development Guide Plan.
- A2.3.8 Garages / carports are to be located as shown on the Development Guide Plan.
- A2.3.9 Garage doors are to be of uniform colour and materials for each group of buildings to ensure a consistent facade. Where carports are to be used, this must be done for each of the dwellings within the group.
- A2.3.10 Non-residential uses are to have direct frontage to Spencer Street with windows looking out onto the street.
- A2.3.11 The existing facades of Building 1 (Figure 2) are to remain unaltered with the exception of the removal of the later and intrusive verandah and window additions. Any restoration of the building (i.e. replacement of the verandah or windows, repainting, etc) should be authentic, based on documentary and physical evidence.

A2.4 Built Form

- A2.4.1 Colours and materials are to be complementary to the existing Buildings 1 and 2 and should be based on documentary and physical evidence. The full range of external materials, including masonry, iron, timber weatherboard and cement cladding will be considered. Development should be sympathetic in form, size, bulk and setback to surrounding properties.
- A2.4.2 Use of unpainted or non-rendered face brick is not permitted.
- A2.4.3 Roof pitch is to be less than 10°, for all new buildings with the exception of houses fronting Frederick Street where a 25° roof pitch is permitted to complement surrounding roof styles.
- A2.4.4 Use of unpainted 'Zincalume' or light-coloured 'Colorbond' custom-orb roofing is required for all buildings, except housing fronting Frederick Street.
- A2.4.5 Roofing tiles are not permitted, except on the houses fronting Frederick Street, where natural-coloured terracotta clay tiles may be used as a substitute to custom-orb roofing to complement the adjoining residence to the east.

- A2.4.6 The facade of Building 2 is permitted to be rationalised, such that only the windowed section of the facade, as well as the original timber trusses and south facing skylight windows, are retained. The remainder of the facade fronting Spencer Street is to incorporate design elements of Building 2 in order to provide visual cues back to the retained structure.
- A2.4.7 The design of any building fronting Spencer Street will be subject to assessment and comment by the City's Heritage Advisor prior to issue of any development approval.
- A2.4.8 Except for Lots A and B1, Upper floors are to extend 0.5m in front of the garage building line in order to provide an element of articulation to the frontages of the dwellings facing the internal driveway.

A2.5 Height and Bulk

- A2.5.1 Finished floor and ground levels are not to exceed the maxima shown on the Development Guide Plan without Council approval.
- A2.5.2 When considering varying the maximum finished level of a building from that shown on the Development Guide Plan, the Council is to ensure the following matters are appropriately addressed prior to granting approval to the varied finished level:
- Impact on the amenity of adjoining dwellings within the complex and adjoining the site.
 - Ensuring the increased finished levels do not detract from the scale and bulk of the overall development.
 - Impact on the view corridor from Frederick Street.
 - Need to ensure appropriate operation of drainage and sewer.
 - Need for retaining walls and the impact on adjoining properties.
 - Impact on solar access to adjoining dwellings, overlooking and overshadowing.
 - Impact on the preservation and amenity of Cheyne Cottage.
- A2.5.3 Building height will be generally in accordance with Category B of Table 3 of the *Residential Design Codes*, except as otherwise varied by this Policy. 'Natural ground level' will be considered the FFL for the lower floor of each building as depicted on the Development Guide Plan, or as varied under clause A2.5.2.
- A2.5.4 Notwithstanding clause A2.5.3, the maximum building height for dwellings fronting Frederick Street will be in accordance with Category A of Table 3 of the *Residential Design Codes* with 'natural ground level' being the FFL for the upper floor as shown on the Development Guide Plan. The purpose of this clause is to ensure a single storey scale and bulk for these buildings when viewed from Frederick Street, whilst allowing for use of the existing fall of the site to establish an undercroft area under the FFL of the upper floor.
- A2.5.5 Upper floor balconies on Lots C1-C4 are to be un-roofed within 4m of the southern strata boundary of these lots to protect the solar access of Lots D1-D3 and to provide adequate light and ventilation.
- A2.5.6 Courtyards are to remain un-roofed to within 4m of the southern boundary on Lots B2-B4 and D1-D3 to protect the solar access of properties to the south and to provide adequate light and ventilation.

A2.6 Privacy and Outdoor Living Areas

- A2.6.1 Second storey windows on dwellings that face another dwelling are to be designed so that the two sets of windows are offset and do not directly face one-another.

- A2.6.2 Balconies are to be screened to 1.7m above the finished level of the balcony where adjoining another balcony or as otherwise shown on the Development Guide Plan.
- A2.6.3 Each dwelling is to be provided with a courtyard / outdoor living area as depicted on the Development Guide Plan. In the case of Lots C1 – C4, this is to be located as a balcony area on the southern side of the dwelling as depicted on the Development Guide Plan.
- A2.6.4 Each dwelling is to be provided with a clothes drying area screened from the view of the street or internal driveway. In the case of Lots B1 and C1-C4, installation of a clothes dryer will be accepted in lieu of a outdoor clothes drying area.
- A2.6.5 With the exception of Lot B1, each dwelling is to incorporate a minimum 4m² lockable storage room directly accessible from the garage / carport with a minimum internal dimension of 1.5m.

A2.7 Landscaping

- A2.7.1 Landscaping in common property areas are to be established and maintained by the Strata Company at all times.
- A2.7.2 Trees selected at maturity are not to exceed the height of the Frederick Street footpath at the view point marked on the Development Guide Plan (10m RL).
- A2.7.3 Use of deciduous trees to provide shade in summer and light / heat in winter is recommended for the common property areas.
- A2.7.4 Boundary fencing (except for street fencing) is to be of a uniform colour and a maximum of 1.8m high.

A2.8 Access and Car Parking

- A2.8.1 Driveways are to be constructed in a uniform material as depicted on the Development Guide Plan and located within Common Property.
- A2.8.2 The existing Right of Carriageway easement to Cheyne Cottage is to be modified to follow the new driveway route with the existing access point into the Cheyne Cottage site to remain.
- A2.8.3 The main driveway will be subject to a Right of Carriageway easement to the benefit of Lot A (office use) to ensure access in perpetuity.
- A2.8.4 Each dwelling is to have two (2) car parking spaces contained in either a carport or garage as shown on the Development Guide Plan.
- A2.8.5 A minimum of two (2) visitor parking spaces are to be provided within the common property and located separately from parking spaces associated with the office use. These spaces are to be marked for residential visitor use only.
- A2.8.6 A minimum of eight (8) on-site parking spaces for the office use on Lot A are to be provided as shown on the Development Guide Plan. It is noted that the minimum required parking spaces for the office of ten (10) spaces has been offset by the ability to provide two (2) on-street spaces immediately in front of the site.
- A2.8.7 A minimum of three (3) on-site parking spaces for the office /studio on Lot B1 are to be provided as shown on the Development Guide Plan. It is noted that the minimum required parking spaces for the office and single bedroom studio of six (6) spaces has been offset by the ability to provide three (3) on-street spaces immediately in front of the site.

A2.9 Non-residential uses

- A2.9.1 Lot A as depicted on the Development Guide Plan is to be used for office accommodation or other non-residential use approved by the Council. Car parking has been provided on the Development Guide Plan for a maximum of 300m² gross floor area (GFA). Any increase in GFA will require the provision of additional car parking to the satisfaction of Council.
- A2.9.2 Lot B1 as depicted on the Development Guide Plan is to be used for office accommodation or other non-residential use approved by the Council on the ground floor. A single bedroom studio residence can be incorporated into the upper floor. Development of the upper floor must take into account the existing heritage elements of the building including two internal trusses, south facing windows and the need to let light in through these windows. Development of the upper storey is to minimise impact on the streetscape and must be setback appropriately from the Spencer Street frontage. Car parking has been provided on the Development Guide Plan for a maximum of 150m² gross floor area (GFA) of office space and a single studio residence. Any increase in GFA will require the provision of additional car parking to the satisfaction of Council.

A2.10 Servicing

- A2.10.1 Provision is to be made for centralised letter boxes at the entrance to the main driveway from Spencer Street.
- A2.10.2 Rubbish collection is to occur via standard domestic 'wheelie bins' placed on Spencer Street or by alternative arrangement with the agreement of Council. Bins are to be stored at each unit outside of pick up days.
- A2.10.3 Provision is to be made for centralised electricity meters for the residential units. This is to be located within Common Property at the entrance to the main driveway from Spencer Street.
- A2.10.4 A 1.5m wide service easement is to be provided along the southern boundary of Lots B1 – B4 to provide access for drainage and sewerage services.
- A2.10.5 Stormwater drainage is to be managed on site and released into the surrounding drainage system in accordance with Better Urban Water Management Guidelines, as approved by the Council.

A3 Figures

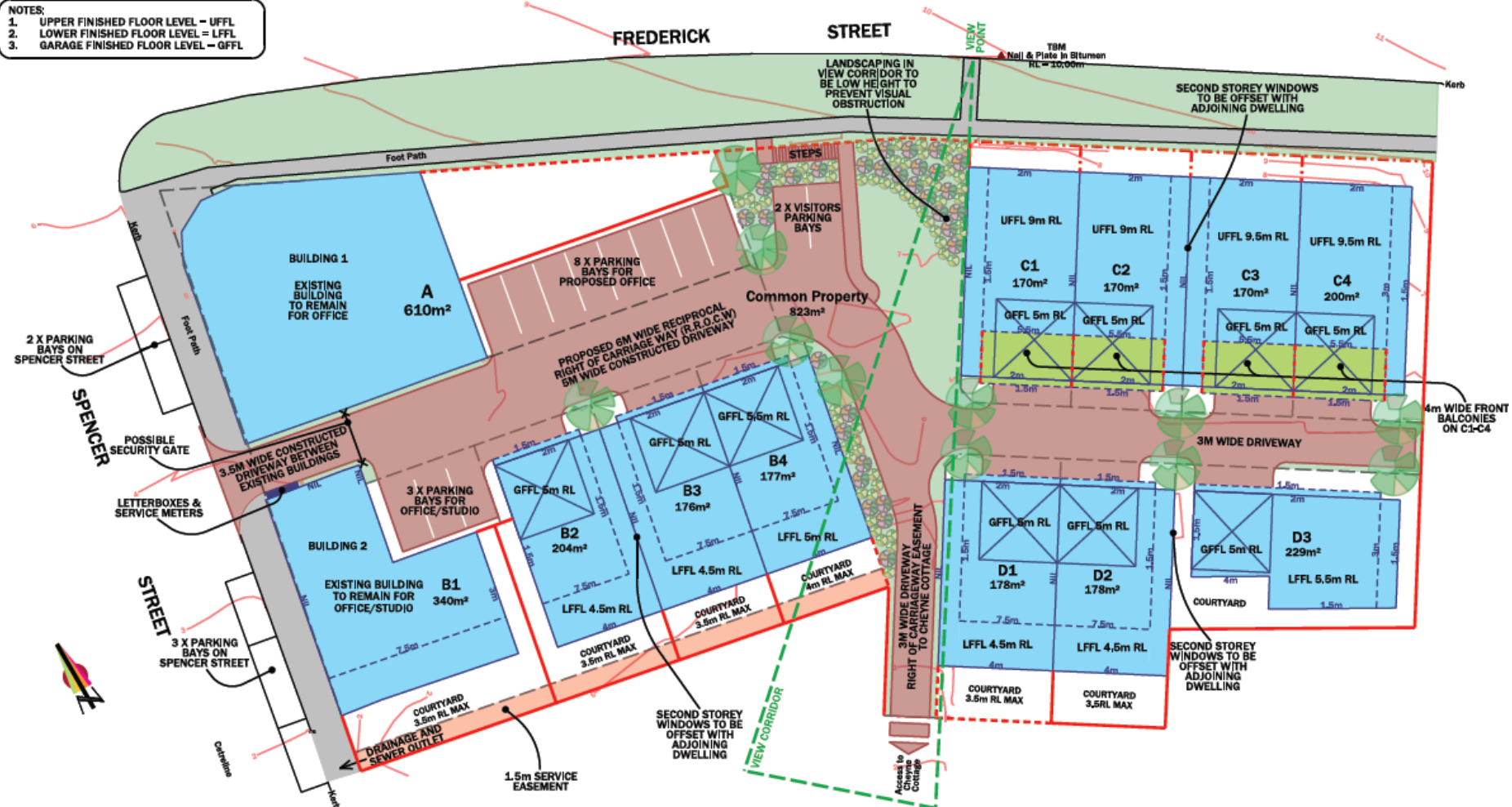
Figure 1



Figure 2



- NOTES:
 1. UPPER FINISHED FLOOR LEVEL – UFFL
 2. LOWER FINISHED FLOOR LEVEL – LFFL
 3. GARAGE FINISHED FLOOR LEVEL – GFFL



Development Guide Plan

LOT 14 SPENCER STREET ALBANY

LEGEND

- Lot Boundaries
- Maximum 1.8m High Open Fence
- Maximum 1.8m High Closed Fence
- Maximum 0.9m High Open Fence
- Privacy Screening
- First Storey Setback
- Second Storey Setback (If varied from first storey)
- Compulsory Balcony Courtyard
- Building Envelope
- Designated Garage Location

This Detailed Area Plan has been adopted by Council and signed by the Manager of Planning for the City of Albany.

Chief Executive Officer _____ Date _____

SCALE AT A3 1:100

0 5 10 15

All distances are in metres.

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