



ATTACHMENTS

Ordinary Meeting of Council

Tuesday 17 December 2013

6.00pm

City of Albany Council Chambers

ORDINARY COUNCIL MEETING
ATTACHMENTS –17/12/2013
** REFER DISCLAIMER **

TABLE OF CONTENTS

Attachment	Report No.	Description	Page No.
A	ED	Economic Development Committee	
		Nil.	
B	CS	Community Services Committee	
	CS006	• Community Funding and Events Sponsorship 2014-15 Budget Allocation Options	1
C	CSF	Corporate Services & Finance Committee	
	CSF044	• List of Accounts for Payment 30 November 2013	4
	CSF045	• Financial Activity Statement-31 October 2013	28
	CSF046	• Financial Activity Statement-December 2013	37
	CSF047	• Delegated Authority Reports	46
D	WS	Works & Services Committee	
	WS023	• City of Albany Policy-Street Tree Management	52
	WS025	• Financial Expenditure and Works Progress Reporting	54
E		Planning & Development Committee	
	PD017	• Development Application Single House-Design Codes Relaxation at 18 Caledonia Crescent, Goode Beach	
	PD018	• Adopt Amended Policies	
	PD020	• Development Application-Family Day Care at 118 Collingwood Road, Seppings	
	PD021	• Planning and Building Reports November 2013	60

Council Policy – Community Funding and Events Sponsorship

1. Policy Statement

The City of Albany aims to build a sustainable, vibrant, engaging and inclusive local community improving the quality of life and opportunities for all residents and visitors.

Community Funding supports this aspiration through stimulating community driven initiatives and activity that enhance community engagement and participation, build community resilience and wellbeing, and develop civic pride and leadership.

Events Sponsorship further supports this aspiration through the promotion of Albany as a tourism destination of choice, advancing economic development and enhancing the vibrancy and liveability of Albany through a diverse, sustainable and engaging events calendar.

2. Objective

To provide an equitable and accessible framework for the provision of Community Funding and Events Sponsorship that aligns with Council's strategic objectives.

3. Scope

Oversight

Oversight and delivery of activity generated by this Policy is within the Community Services Directorate.

Framework

Community Funding has two program streams:

- Community Enterprise Grants; and
- Community Leadership Grants.

The *Community Funding* framework is outlined in Table 1.

Program	Objective	Detail	Delegated Authority
Community Enterprise Grants	<ul style="list-style-type: none"> • To enhance community engagement and participation. • To build community resilience and wellbeing. 	<ul style="list-style-type: none"> • Grants to support community groups and organisations enhance, develop or deliver activities, programs or services. • Supports minor equipment purchases or maintenance, capacity building initiatives, or innovative community programs. 	Community Committee
Community Leadership Grants	<ul style="list-style-type: none"> • To develop and celebrate outstanding community leaders. 	<ul style="list-style-type: none"> • Small grants to support individuals and groups' outstanding achievements, endeavour or the development of community leaders. • Supports travel costs to conferences, sporting meets, celebrations and civic engagements. 	Executive Director Community Services

Events Sponsorship has two program streams:

- Regional Event Sponsorship; and
- Community Event Sponsorship.

The *Events Sponsorship* framework is outlined in Table 2.

Program	Objective	Detail	Delegated Authority
Regional Event Sponsorship	<ul style="list-style-type: none"> • To enhance tourism activity in the region. • Significant positive economic, social and community benefits. • To raise the profile of Albany. 	<ul style="list-style-type: none"> • Support for high-profile regional events that attract intrastate, interstate and international visitors to Albany and that demonstrate significant positive economic, social and community benefits. 	Economic Development Committee
Community Event Sponsorship	<ul style="list-style-type: none"> • To have a positive impact on the vibrancy, diversity of activity and liveability of Albany. • To contribute positively to the image and economic development of Albany. 	<ul style="list-style-type: none"> • Support for community events that contribute to a diverse events calendar for the local community in Albany and demonstrate positive economic, social and community benefits. 	Community Committee

Budget Allocation and Timeframe

A total budget of \$405,000 to be allocated across Community Funding and Event Sponsorship over three financial years: 2013/2014, 2014/2015, 2015/2016.

Unallocated funds to be carried forward.

Total budget to be allocated each financial year to be determined on an annual basis.

Guidelines

Community Funding to include applicant guidelines outlining the process and requirements for application and acquittal to be reviewed annually.

Event Sponsorship to include guidelines for sponsorship proposals and project evaluation in the ‘Regional Events Sponsorship’ stream and event proposal, planning and evaluation in the ‘Community Events Sponsorship’ stream to be reviewed annually.

Eligibility

In addition to guiding values as outlined in the Policy Statement eligibility criteria will be based on the following principles:

- Incorporated, not for profit, community organisations (excluding *Regional Events Sponsorship*);
- Activity to take place within the Municipal boundary or have a positive impact for the local community;
- Recurrent, retrospective or deficit support is ineligible.

Communication

Community Funding and *Event Sponsorship* details to be made publically available.

Out of Scope

This Policy does not reference, influence or impact other funding or financial assistance programs delivered by the City including rates rebates, funding or in-kind support through City Business Units or other programs that may be delivered from time to time.

4. Legislative and Strategic Context

Community Funding and Events Sponsorship directly relate to the City of Albany Strategic Plan 2013- 2023 as outlined in Table 3.

Program	Strategic Plan Focus	Strategic Plan Detail
Community Enterprise Grants	Sense of Community	<ul style="list-style-type: none"> • Vibrant accessible places and spaces • Sought after lifestyle destination • Community and volunteer support
Community Leadership Grants	Civic Leadership Sense of Community	<ul style="list-style-type: none"> • Community engagement • Community and volunteer support • Accessible support and services
Regional Events Sponsorship	Smart Prosperous and Growing	<ul style="list-style-type: none"> • Sought after visitor destination • Economic development • Major events and attractions
Community Events Sponsorship	Sense of Community A Liveable Built Environment	<ul style="list-style-type: none"> • Vibrant accessible places and spaces • Interesting events and festivals • Active and involved community

5. Review Position and Date

Executive Director of Community Services on or before 30 June 2016.

6. Associated Documents

All associated documentation will be reviewed and developed subject to council endorsement of the policy. Base material to be developed is:

- Community Program Funding Guidelines 2012-2013
- Community Program Funding Application Form 2012-2013
- Community Program Funding Acquittal Form 2012-2013
- Community Program Funding Contract 2012-2013

7. Definitions

Community Funding:

Refers to the Community Enterprise Grants and the Community Leadership Grants.

Events Sponsorship:

Refers to Regional Event Sponsorship and Community Event Sponsorship.

Version Control

Version	Date	Status	Distribution	Comment
01	11/04/2013	Adopted	EDCS	Adoption Reference: OCM 21 May 2013 Item 3.1

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EFT/CHQ	Date	Name	Description	Amount
			Total	\$ -

MASTERCARD TRANSACTIONS - OCTOBER 2013

Date	Payee	Description	Amount
18/10/13	Sebel Mandurah	Accommodation Cllr Stocks - Dynamic Cities Conference	385.19
18/10/13	Sebel Mandurah	Accommodation Cllr Bowles - Dynamic Cities Conference	618.14
3/10/13	Lavender Cottage	Executive Management Team Lunch	221.20
23/10/13	Observatory Guest House	Accommodation - M Thompson, D King, E Vorster, P Camins, A McEwan, E Evans - Coastal Tour	700.00
16/10/13	Catch 22 Restaurant	Meeting D Putland, Cllr Stocks, Cllr Bowles ICTC	287.13
17/10/13	Atrium Hotel	Accommodation D Putland - ICTC Conference	306.90
19/10/13	Joondalup Resort	Accommodation D Koster - AIBS Conference	843.50
25/10/13	Sebel Mandurah	Accommodation R Van Wyk - Mosquito Conference	972.27
22/10/13	CPA Australia	CPA Congress Perth - D Olde	1,845.00
27/09/13	Virgin	Airfare E Vorster	412.25
9/10/13	Virgin	Airfare S Pepper	439.56
10/10/13	14 Peels Place	Catering for meeting	239.10
14/10/13	Dan Murphys	Refreshments Farewell J Harbach	353.05
14/10/13	Karrinyup Waters	Accommodation - T Brooks (Reserves)	200.00
7/10/13	Hotels.com	Accommodation - N Ashford, K Bunn, P Shaw, S Webb (Library Staff)	610.74
7/10/13	Hotels.com	Accommodation - Paul Nielsen, J Mitchell	716.00
8/10/13	Virgin	Airfares - P Nielsen, J Mitchell	757.06
10/10/13	Federal Express	Freight to USA - ILS Parts	327.59
10/10/13	Federal Express	Freight to USA - ILS Parts	392.18
Various	Sundry < \$ 200.00		1,335.37
		Total	11,962.23

PAYROLL - 16/10/13-15/11/13

Date	Description	Amount
16/10/2013	Payroll	\$ 527,524.02
17/10/2013	Sundry Pay	\$ 297.23
18/10/2013	Sundry Pay	\$ 250.00
30/10/2013	Payroll	\$ 512,688.26
31/10/2013	Sundry Pay	\$ 507.91
7/11/2013	Sundry Pay	\$ 6,000.02
13/11/2013	Payroll	\$ 514,402.62
	Total	\$ 1,561,670.06

REPORT ITEM CSF 044 REFERS

Chq	Date	Name	Description	Amount
				0.00
29349	14/10/2013	MR A RICHARDSON	REFUND SWIM LESSONS	117.00
29350	17/10/2013	BRIDGESTONE AUSTRALIA LTD	205/60R16 92V FS TZ700/VEHICLE SERVICING	281.31
29351	17/10/2013	DEPARTMENT OF TRANSPORT	AMAZING ALBANY NUMBER PLATES	180.00
29352	17/10/2013	WESTERN AUSTRALIAN PLANNING COMMISSION	ALBANY KINDERGARTEN ASSOCIATION INC - VARIATION OF LEASE AREA	271.00
29353	17/10/2013	GIRL GUIDES GREAT SOUTHERN	KIDSPORT VOUCHERS	304.00
29354	17/10/2013	IML LOGISTICS	CHLORINE DRUMS + FREIGHT - ALAC	2,256.46
29355	17/10/2013	KARRINYUP WATERS RESORT	Accommodation for Terry Brooks & Leanne Gawn to attend training in Perth	400.00
29356	17/10/2013	SENSIS PTY LTD	SENSIS VALUE PACKAGE - BUSINESS ESSENTIALS 11 OF 12	39.58
29357	17/10/2013	PETTY CASH - DEPOT	PETTY CASH REIMBURSEMENTS	317.30
29358	17/10/2013	PRERUST ALBANY	WINDOW TINTING AT ALAC CRECHE	1,754.00
29359	17/10/2013	TARGET AUSTRALIA PTY LTD	Purchase 50 Funsafe Pool Noodles for Swim School	140.00
29360	17/10/2013	VODAFONE PTY LTD	SMS MESSAGING SERVICES	49.00
29361	17/10/2013	WATER CORPORATION	WATER CHARGES OFFICES AT 222 CHESTERPASS ROAD	1,397.98
29362	17/10/2013	YAKAMIA PRIMARY SCHOOL	YEAR 7 GRADUATION AWARD 2013	55.00
029363	24/10/2013	MR & MRS BRAND	CROSSOVER SUBSIDY PAYMENT	246.89
29364	24/10/2013	BRIDGESTONE AUSTRALIA LTD	Puncture repair	24.20
29365	24/10/2013	MAX CHESTER	REFUND OF COUNCIL NOMINATION FEE	80.00
29366	24/10/2013	THOMAS HERBERT CROSSEN	REFUND OF COUNCIL NOMINATION FEE	80.00
29367	24/10/2013	LANDGATE - PROPERTY & VALUATIONS	Provision of geospatial data for reserves within the City of Albany Local Government Area	181.50
29368	24/10/2013	JOHN STUART GATES	REFUND OF COUNCIL NOMINATION FEE	80.00
29369	24/10/2013	RAY HAMMOND	REFUND OF COUNCIL NOMINATION FEE	80.00
29370	24/10/2013	JOHN ALEXANDER JAMIESON	REFUND OF COUNCIL NOMINATION FEE	80.00
29371	24/10/2013	JO-JOES PIZZA AND KEBAB	Pizzas for YAC/Amazing Race meeting	31.00
29372	24/10/2013	ANTHONY MOIR	REFUND OF COUNCIL NOMINATION FEE	80.00
29373	24/10/2013	MICHAEL JOHN MORAN	REFUND OF COUNCIL NOMINATION FEE	80.00
29374	24/10/2013	PIVOTEL SATELLITE PTY LIMITED	SATELLITE PHONE CHARGES	241.02
29375	24/10/2013	JANELLE MARGARET PRICE	REFUND OF COUNCIL NOMINATION FEE	80.00
29376	24/10/2013	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	611.57
29377	24/10/2013	WATER CORPORATION	SERVICE CHARGES & WATER CHARGES	1,294.06
29378	24/10/2013	NICOLETTE WILLIAMS	REFUND OF COUNCIL NOMINATION FEE	80.00
29379	25/10/2013	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES - LANDLINE ACCOUNT	11,720.56
29380	31/10/2013	ALBANY PUBLIC LIBRARY	COIN BOX FLOAT	100.00
29381	31/10/2013	CASH	STAFF EXPENSES FOR STAFF AT ALBANY AGRICULTURAL SHOW	250.00
29382	31/10/2013	DEPARTMENT OF TRANSPORT	AMAZING ALBANY NUMBER PLATES	180.00
29383	31/10/2013	CITY OF JOONDALUP LIBRARIES	DAMAGED LIBRARY ITEM	20.90
29385	31/10/2013	PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH REIMBURSEMENTS	168.75
29386	31/10/2013	PETTY CASH - CITY OF ALBANY	PETTY CASH REIMBURSEMENTS	371.40
29387	31/10/2013	TARGET AUSTRALIA PTY LTD	ARTIFICIAL PLANTS FOR DAY CARE CENTRE	88.70
29388	31/10/2013	TELSTRA CORPORATION LIMITED	MOBILE TELEPHONE CHARGES	8,978.24
29389	31/10/2013	WATER CORPORATION	WATER CHARGES	393.62
29390	31/10/2013	WESTNET PTY LTD	LINUX WEB HOSTING 1 (STANDARD) RECURRING FOR THE PERIOD 8/10/13 TO 8/10/14	161.49
29391	31/10/2013	WASTE AND RECYCLE 2013 CONFERENCE	REGISTRATION INFORMATION EARLY REGISTRATION - REGISTRATION INFORMATION WEDNESDAY FULL DAY TOUR REGISTRATION	1,565.00

REPORT ITEM CSF 044 REFERS

29392	07/11/2013	AMP FLEXIBLE LIFETIME SUPER PLAN	Superannuation contributions	2,786.44
29393	07/11/2013	AMP RSA	Superannuation contributions	728.80
29394	07/11/2013	ASGARD	Superannuation contributions	1,194.80
29395	07/11/2013	CARE SUPER PTY LTD	Superannuation contributions	630.35
29396	07/11/2013	COLONIAL FIRST STATE ROLLOVER & SUPER FUND	Superannuation contributions	780.96
29397	07/11/2013	HESTA SUPER FUND	Superannuation contributions	2,275.78
29398	07/11/2013	HOSTPLUS PTY LTD	Superannuation contributions	1,276.49
29399	07/11/2013	IOOF INVESTMENT MANAGEMENT LTD	Superannuation contributions	807.51
29400	07/11/2013	MEDIA SUPER	Superannuation contributions	455.65
29401	07/11/2013	MLC NOMINEES PTY LTD	Superannuation contributions	678.01
29402	07/11/2013	MLC MASTERKEY BUSINESS SUPER	Superannuation contributions	426.62
29403	07/11/2013	MLC NOMINEES PTY LIMITED	Superannuation contributions	1,363.18
29404	07/11/2013	MLC MASTERKEY SUPERANNUATION GOLD STAR	Superannuation contributions	329.48
29405	07/11/2013	NATIONAL MUTUAL RETIREMENT FUND	Superannuation contributions	392.45
29406	07/11/2013	PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation contributions	884.51
29407	07/11/2013	IOOF GLOBAL ONE (EX SKANDIA GLOBAL)	Superannuation contributions	1,582.94
29408	07/11/2013	IOOF GLOBAL ONE (EX SKANDIA GLOBAL)	Superannuation contributions	398.67
29409	07/11/2013	SPECTRUM SUPER	Superannuation contributions	613.68
29410	07/11/2013	SPECTRUM SUPER	Superannuation contributions	821.57
29411	07/11/2013	SUPERWRAP PERSONAL SUPER PLAN	Superannuation contributions	1,197.48
29412	07/11/2013	TAL SUPERANNUATION LIMITED	Superannuation contributions	558.48
29413	07/11/2013	UNI SUPER	Superannuation contributions	472.68
029414	07/11/2013	SUSAN MERLI	REFUND OF RACKING FEE FOR ENERGY TRANSFERENCE THERAPY	52.00
029415	07/11/2013	JARON & NICOLE FENWICK	CROSSOVER SUBSIDY	146.77
29416	07/11/2013	DEPARTMENT OF TRANSPORT	VEHICLE REGISTRATION 9009A	458.85
29417	07/11/2013	WESTERN AUSTRALIAN PLANNING COMMISSION	ALBANY KINDERGARTEN ASSOCIATION INC. VARIATION OF LEASE AREA	255.00
29418	07/11/2013	GREAT SOUTHERN GRAMMAR SCHOOL	HOSTING EDUCATION FUTURES CONFERENCE COCKTAIL PARTY - OCTOBER 13TH 2013	2,750.00
29420	07/11/2013	PETTY CASH - ALBANY PUBLIC LIBRARY	PETTY CASH REIMBURSEMENTS	297.00
29421	07/11/2013	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES - G FOSTER 18/9/13 - 17/10/13	130.95
29422	07/11/2013	WATER CORPORATION	WATER CONSUMPTION VARIOUS LOCATIONS	1,009.80
29423	07/11/2013	FIRST SUPER	Superannuation contributions	369.05
29424	07/11/2013	KINETIC SUPERANNUATION	Superannuation contributions	474.11
29425	07/11/2013	VISION SUPER	Superannuation contributions	205.16
29426	14/11/2013	JEANNE GRIFFITHS	CROSSOVER SUBSIDY PAYMENT	241.00
29427	14/11/2013	ANTHONY RUSSELL EVERS	Rates refund for assessment A11130	199.85
29428	14/11/2013	DEPARTMENT OF JUSTICE - FINES ENFORCEMENT	UNPAID FINES TO FER	1,118.00
29429	14/11/2013	LOCKYER AVENUE VETERINARY HOSPITAL	PAYMENT FOR VETERINARY CARE OF MRS DONNA WARDS DOG SOROYA FOR BLEACH EXPOSURE WHILST IN THE POUND	201.35
29430	14/11/2013	PIVOTEL SATELLITE PTY LIMITED	SATELLITE PHONE CHARGES	225.00
29431	14/11/2013	COMMISSIONER OF POLICE	CORPORATE FIREARMS LICENCE RENEWAL	117.00
29432	14/11/2013	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	11,285.90
29433	14/11/2013	WATER CORPORATION	WATER USGAE CHARGES VARIOUS LOCATIONS	4,539.78
29434	14/11/2013	WHITE STAR HOTEL	MEALS FOR MEETING	183.00
29435	14/11/2013	ZURICH AUSTRALIA INSURANCE COMPANY LTD	EXCESS ON CLAIM 027015 - P251	300.00

TOTAL

\$ 80,127.63

REPORT ITEM CSF 044 REFERS

EFT	Date	Name	Description	Amount
				0.00
EFT85884	17/10/2013	A1 SANDBLASTING	SUPPLY SANDBLASTING ON 40/60MM BOFORS AS REQUIRED	1,298.00
EFT85885	17/10/2013	A2K TECHNOLOGIES	SUBSCRIPTION RENEWALS - AUTODESK AUTOCAD CIVIL 3D/AUTODESK INFRASTRUCTURE DESIGN SUITE 28/10/13 - 27/10/14	8,228.00
EFT85886	17/10/2013	ABA SECURITY	Supply & installation of the following works at the Museum House on Princess Royal Drive	3,210.00
EFT85887	17/10/2013	ABBOTTS LIQUID SALVAGE PTY LTD	PUMP AND CLEAN GREASE TRAP	258.50
EFT85888	17/10/2013	ACTIV FOUNDATION INC.	E WASTE RECYCLING	2,202.20
EFT85889	17/10/2013	AD CONTRACTORS PTY LTD	Hours Hire of Semi Tipper	4,275.40
EFT85890	17/10/2013	ALBANY SECURITY SUPPLIES	KEY CUTTING	10.00
EFT85891	17/10/2013	ALBANY BRAKE AND CLUTCH	VEHICLE MAINTENANCE	505.58
EFT85892	17/10/2013	ALBANY CRANE HIRE	Being for the lowering of the field light poles from the Railways football oval	4,328.50
EFT85893	17/10/2013	ALBANY CITY LAWNS	Mowing of Lancaster park	594.00
EFT85894	17/10/2013	ALBANY SOIL AND CONCRETE TESTING	Frenchman bay Road / Princess Avenue intersection Geotech Investigation as per ASCT quote	2,321.00
EFT85895	17/10/2013	ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	231.73
EFT85896	17/10/2013	ALBANY SWEEP CLEAN	SWEEPING SERVICES AIRPORT	346.50
EFT85897	17/10/2013	ALBANY STATIONERS	STATIONERY SUPPLIES	5.00
EFT85898	17/10/2013	ALBANY REFRIGERATION	Supply of the quoted A/C unit for the Three Anchors cafe	3,302.00
EFT85899	17/10/2013	ALBANY SKIPS AND WASTE SERVICES	MERCER ROAD - PARKS AND GARDENS SKIP BIN HIRE	255.00
EFT85900	17/10/2013	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	DRAFTING CHAIR	219.00
EFT85901	17/10/2013	ALBANY SUMMER SCHOOL INC	ADVERTISING IN ALBANY SUMMER SCHOOL BROCHURE 2014	250.00
EFT85902	17/10/2013	ALBANY LEGAL PTY LTD	PROFESSIONAL FEES - LOT 4559 STANLEY ROAD	1,056.00
EFT85903	17/10/2013	ALL EVENTS PROSOUND HIRE	UNIVERSITY OF WA SEMINAR AUDIO HIRE	1,812.50
EFT85904	17/10/2013	ALL PARK PRODUCTS	Being for the purchase of (3) three bbq batteries and 6 battery leads	782.10
EFT85905	17/10/2013	ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	3,210.31
EFT85906	17/10/2013	AUDIOCOM ALBANY	iPad screen protectors twin pack	100.00
EFT85907	17/10/2013	AUSCOINSWEST	SUPPLY OF SOUVENIR COINS, CAPSULES AND ALBUMS	803.00
EFT85908	17/10/2013	BENNETTS BATTERIES	200L drum of Rubia TIR 7400 15w/40 Engine oil.	818.40
EFT85909	17/10/2013	BEST OFFICE SYSTEMS	Yellow cartridge for MP CW2200SP Photocopier	95.00
EFT85910	17/10/2013	COUNTRY COMFORT INTER CITY MOTEL	ACCOMODATION AND MEALS REIMBURSEMENT FOR STAFF MEMBER	1,083.50
EFT85911	17/10/2013	BLACKWOODS	PROTECTIVE EYEWEAR	183.42
EFT85912	17/10/2013	BOOEASY AUSTRALIA PTY LTD	BOOEASY BOOKING RETURNS COMMISSION FEE - SEPTEMBER 2013	1,422.94
EFT85913	17/10/2013	BOOKMARKETING - GARY SPELLER	LOCAL LIBRARY STOCKS	25.00
EFT85914	17/10/2013	BROWNES FOODS OPERATIONS PTY LTD	CATERING SUPPLIES	283.82
EFT85915	17/10/2013	CARDNO BSD PTY LTD	Provide consultant services to Hanrahan Leachate project Stage 3 as per Quotation	11,770.00
EFT85916	17/10/2013	BUNNINGS GROUP LIMITED	SUPPLY OF GARDENING TOOLS AND PAINTING EQUIPMENT AS REQUIRED	231.40
EFT85917	17/10/2013	C&C MACHINERY CENTRE	Filters to suit PLANT as required	529.21
EFT85918	17/10/2013	STACEY CARTER	FITNESS INSTRUCTION	202.50
EFT85919	17/10/2013	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	1,520.24
EFT85920	17/10/2013	CJD EQUIPMENT PTY LTD	Cutting edge, bolts and nuts to suit Volvo L40 Loader.	1,247.82
EFT85921	17/10/2013	BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	240,211.88
EFT85922	17/10/2013	SUE CODEE	VISITORS CENTRE MERCHANDISE	45.50

REPORT ITEM CSF 044 REFERS

EFT85923	17/10/2013	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	959.10
EFT85924	17/10/2013	JULIAN MITCHELL COLE	DFES EMERGENCY SERVICE CONFERENCE PERTH	298.50
EFT85925	17/10/2013	COVS PARTS PTY LTD	VEHICLE PARTS	49.45
EFT85926	17/10/2013	LESTER COYNE	WELCOME TO THE COUNTRY MC/PRESENTER NEW COUNCILLOR FUNCTION	200.00
EFT85927	17/10/2013	HOLCIM (AUSTRALIA) PTY LTD	Supply m3 of footpath mix 25x14x 70 slump (tight) full rate stage 2 ,5m3 @9.00am and 5m3 to Middleton Rd outside Dog Rock Hotel	2,728.00
EFT85928	17/10/2013	AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	148.89
EFT85929	17/10/2013	CYNERGIC COMMUNICATIONS	MANAGED SERVER XEON CPU	987.80
EFT85930	17/10/2013	DE JONGE MECHANICAL REPAIRS	VEHICLE SERVICING	1,137.00
EFT85931	17/10/2013	LANDGATE - PROPERTY & VALUATIONS	LAND VALUATIONS	1,602.19
EFT85932	17/10/2013	JANINE DETERMES	FITNESS INSTRUCTION	202.50
EFT85933	17/10/2013	DISPLAYS 2 GO	COMMUNITY ENGAGEMENT MATERIALS FOR ALBANY SHOW	3,498.11
EFT85934	17/10/2013	KYLIE DUNSTAN	REIMBURSEMENTS CBW AUTHOR - FUEL, SUBSISTENCE, LUGGAGE & TAXI	665.95
EFT85935	17/10/2013	EASIFLEET MANAGEMENT	MOTOR VEHICLE LEASE RENTAL/ESP BUREAU FEE/BUREAU FEE REBATE	6,929.57
EFT85936	17/10/2013	EVERTRANS	Repairs to Isuzu FTR900 Truck A51460	719.30
EFT85937	17/10/2013	EYERITE SIGNS	SIGNAGE FOR COA ART PRIZE	959.20
EFT85938	17/10/2013	THE FIXUPPERY	WINDOW CLEANING AIRPORT SEPTEMBER 2013	907.74
EFT85939	17/10/2013	TAMMIE FLOWER	FITNESS INSTRUCTION	360.00
EFT85940	17/10/2013	FOXTEL MANAGEMENT PTY LTD	FOXTEL BUSINESS PREMIUM PACKAGE MONTHLY SUBSCRIPTION FEE - ALAC	350.00
EFT85941	17/10/2013	FRANEY & THOMPSON	TIMBER SUPPLIES	390.72
EFT85942	17/10/2013	FRIDGE AND WASHER CITY	HOSE	35.00
EFT85943	17/10/2013	FUELS WEST PETROLEUM	Litres DIESEL FUEL	10,343.69
EFT85944	17/10/2013	GALLERY 500	ART SUPPLIES	42.05
EFT85945	17/10/2013	BRIANNA GIBSON	FITNESS INSTRUCTION	135.00
EFT85946	17/10/2013	GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	Course Registration for 7 staff members to attend Traffic Refresher Training	1,012.00
EFT85947	17/10/2013	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING SUPPLIES	1,848.71
EFT85948	17/10/2013	GREENWAY ENTERPRISES	Slasher organic herbicide	329.18
EFT85949	17/10/2013	CPG RESEARCH AND ADVISORY PTY LTD	Ongoing investment advice on Lehman Bros/CDO arrangement.	1,375.00
EFT85950	17/10/2013	GSM AUTO ELECTRICAL	VEHICLE PARTS/MAINTENANCE	30.18
EFT85951	17/10/2013	GHD PTY LTD	REVIEW OF ALBANY SEPTAGE WASTE FACILITY	7,700.00
EFT85952	17/10/2013	HAEFELI-LYSNAR	SERVICE AND REPAIR TO TRIMBLE	594.00
EFT85953	17/10/2013	PROTECTOR FIRE SERVICES PTY LTD	APOLLO LOOP CARD FAULT RESET	862.40
EFT85954	17/10/2013	HART SPORT	SPORTS STORE PURCHASES	432.20
EFT85955	17/10/2013	HAYNES ROBINSON	Registration of Caveats - Lots 34 & 35 Ulster Road - widening of the Ulster Road reserve	553.31
EFT85956	17/10/2013	H AND H ARCHITECTS	Consultant Services - Albany Airport Terminal Security Upgrade Stage 2	5,500.00
EFT85957	17/10/2013	TOLL IPEC	FREIGHT CHARGES	135.95
EFT85958	17/10/2013	ALBANY MAPPING AND SURVEYING SERVICES	CONTOUR & FEATURE SURVEY	5,695.80
EFT85959	17/10/2013	JUST SEW EMBROIDERY	Purchase 15 Aussie Spirit Polo's (embroidered with ALAC logo)	495.00
EFT85960	17/10/2013	MT SOUNNESS & THE SOUNNESS FAMILY TRUST	Gravel Royalty payment for September 2013 push	10,445.60
EFT85961	17/10/2013	KNOTTS GROUP PTY LTD	SCHEDULED PREVENTATIVE MAINTENANCE PLUMBING	1,371.25
EFT85962	17/10/2013	KOOKAS CATERING	CATERING	1,899.00
EFT85963	17/10/2013	L-3 COMMUNICATIONS AUSTRALIA PTY LTD	Airport security consumables supply	1,417.90
EFT85964	17/10/2013	LEASE CHOICE	MONTHLY LEASES - PHOTOCOPIERS NORTH ROAD	1,246.83

REPORT ITEM CSF 044 REFERS

EFT85965	17/10/2013	DAVID LEECH	VISITORS CENTRE MERCHANDISE	30.00
EFT85966	17/10/2013	LIFETIME DISTRIBUTORS	LOCAL LIBRARY STOCK	25.00
EFT85967	17/10/2013	MARIO LIONETTI	GROCERIES	164.90
EFT85968	17/10/2013	LMW HEGNEY	CONSULTANCY LOT 9001 CULL ROAD LOCKYER	440.00
EFT85969	17/10/2013	LOCKEEZ LUNCHBAR	CATERING	1,583.00
EFT85970	17/10/2013	LORLAINE DISTRIBUTORS PTY LTD	CLEANING SUPPLIES	48.30
EFT85971	17/10/2013	ANNETTE ELIZABETH BEASLEY	Rates Refund	140.31
EFT85972	17/10/2013	LOWER KING LIQUOR & GENERAL STORE	BEER PURCHASES	219.95
EFT85973	17/10/2013	M & B SALES PTY LTD	TIMBER SUPPLIES	297.57
EFT85974	17/10/2013	RL & KJ MACKENZIE	VISITORS CENTRE MERCHANDISE	117.00
EFT85975	17/10/2013	ALBANY CITY MOTORS	P3183 COLORADO LX (4x4) RG SPACE C/CHAS DIESEL TURBO F/INJ 6 SP AUTOMATIC WITH TOW BAR IN WHITE VEHICLE CODE 82H53-274	33,680.69
EFT85976	17/10/2013	MCINTOSH AND SON	Howard Stealth S2-340 Mower as per quotation	42,350.00
EFT85977	17/10/2013	MCKAILS GENERAL STORE	ALCOHOL PURCHASES FOR ALBANY ART PRIZE	107.00
EFT85978	17/10/2013	MCLEODS BARRISTERS & SOLICITORS	SAT APPLICATION FOR REVIEW - CUSCANNA NOMINEES	9,183.06
EFT85979	17/10/2013	METROOF ALBANY	STEEL SUPPLIES	265.75
EFT85980	17/10/2013	MT BARKER COMMUNICATIONS	Installation of camera on Mount Clarence Tower	540.00
EFT85981	17/10/2013	MURCHISON OFFROAD ADVENTURES PTY LTD	4WD TRAINING FOR RANGERS TEAM AND RESERVES TEAM	4,325.00
EFT85982	17/10/2013	NATALIE RADIVOJEVIC	COORDINATION DUTIES FOR 2014 GS ART AWARD	844.56
EFT85983	17/10/2013	WILLIAM DAVID NEALE	FORTS VOLUNTEER TRAVELLING ALLOWANCE	465.00
EFT85984	17/10/2013	NEVILLES HARDWARE & BUILDING SUPPLIES	Supply bundles of 2.5m lock joints	1,314.05
EFT85985	17/10/2013	NEWBYS AUTOMOTIVE ELECTRICIANS	VEHICLE PARTS/REPAIRS	326.66
EFT85986	17/10/2013	ALBANY NEWS DELIVERY - ALAC	NEWSPAPER DELIVERIES	672.25
EFT85987	17/10/2013	ALBANY COMMUNITY PHARMACY	SPORT STORE PURCHASES	353.52
EFT85988	17/10/2013	OCS SERVICES PTY LTD	CLEANING SERVICES TOWN HALL	261.34
EFT85989	17/10/2013	OFFICEWORKS SUPERSTORES PTY LTD	STATIONERY SUPPLIES	940.79
EFT85990	17/10/2013	OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	142.70
EFT85991	17/10/2013	PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Mobilisation/Demobilisation to Redmond	36,667.05
EFT85992	17/10/2013	IAN ROBERT HYDE PARKER	Rates Refund	475.33
EFT85993	17/10/2013	PLASTICS PLUS	PLASTIC STORAGE TUBS	646.16
EFT85994	17/10/2013	KRISTIE PORTER	FITNESS INSTRUCTION	315.00
EFT85995	17/10/2013	PRECISION HEARING	Baseline Hearing Tests booked for Construction/Maintenance	880.00
EFT85996	17/10/2013	MICHELLE PRYOR	FORTS VOLUNTEER TRAVELLING ALLOWANCE	37.44
EFT85997	17/10/2013	RAINBOW 7 CARPET CARE	CARPET CLEANING OFFICE AREA MOKARE RD NIND ST	77.00
EFT85998	17/10/2013	REEVES AND COMPANY BUTCHERS PTY LTD	BBQ SUPPLIES DEPOT	275.00
EFT85999	17/10/2013	RICOH	PHOTOCOPIER CHARGES	18,894.30
EFT86000	17/10/2013	ROSMECH SALES AND SERVICE PTY LTD	Boxes of main broom segments.	638.00
EFT86001	17/10/2013	ROYAL LIFE SAVING SOCIETY AUSTRALIA	Payment for re-registering ALAC with RLSSWA	100.00
EFT86002	17/10/2013	ALICIA NICOLE SAVAGE	REFUND FOR SWIMMING LESSONS	117.00
EFT86003	17/10/2013	SECUREPAY PTY LTD	VISITORS CENTRE MERCHANDISE	31.19
EFT86004	17/10/2013	SERENDIPITY BOOKS	1 x copy of book The Wellstead Family 1820-1998 by JM Wellstead for Wellstead Library collection.	43.60
EFT86005	17/10/2013	SHOREWATER MARINE PTY LTD	Ellen Cove Jetty - Structural Assessment and Ten Year Maintenance Plan - Q13052	12,548.00
EFT86006	17/10/2013	SKILL HIRE WA PTY LTD	CASUAL STAFF/APPRENTICE FEES	3,593.21

REPORT ITEM CSF 044 REFERS

EFT86007	17/10/2013	SMITHS ALUMINIUM & 4WD CENTRE	Alloy Irvin bullbar with a removable front long load rack for 9103A & Rear removable long load bar for 9103A	11,272.88
EFT86008	17/10/2013	SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	6,404.42
EFT86009	17/10/2013	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	25.36
EFT86010	17/10/2013	SOUTHWAY DISTRIBUTORS PTY LTD	CATERING GOODS	2,620.55
EFT86011	17/10/2013	SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES SEPTEMBER 2013	11,726.77
EFT86012	17/10/2013	SPEEDO AUSTRALIA PTY LTD	SPORT STORE PURCHASES	4,054.60
EFT86013	17/10/2013	SPORTSWORLD OF WA	SPORT STORE PURCHASES	223.30
EFT86014	17/10/2013	STAR SALES AND SERVICE	HARDWARE/VEHICLE PARTS	37.00
EFT86015	17/10/2013	ALBANY VOLUNTEER STATE EMERGENCY SERVICE	STANDARD LGGS ALLOCATION FPR SEPTEMBER 2103 - DECEMBER 2013	10,983.50
EFT86016	17/10/2013	STATEWIDE BEARINGS	VEHICLE PARTS	44.19
EFT86017	17/10/2013	STIRLING FREIGHT EXPRESS	FREIGHT CHARGES	953.28
EFT86018	17/10/2013	ST JOHN AMBULANCE AUSTRALIA	FIRST AID KIT SERVICING ALAC	137.00
EFT86019	17/10/2013	STORM OFFICE NATIONAL	COPY A4 and A3 pages in Colour AND Coil binding - KINJARLING TRAIL & STORIES STRATEGIC PLAN 2010	184.20
EFT86020	17/10/2013	LETITIA STONE	FUEL REIMBURSEMENTS TO 23/5/13	21.88
EFT86021	17/10/2013	SUNNY SIGN COMPANY	ASSORTED SIGNAGE	5,790.64
EFT86022	17/10/2013	ALBANY LOCK SERVICE	LOCK SERVICES/REPAIRS	34.70
EFT86023	17/10/2013	SYNERGY	STREET LIGHTING CHARGES 25/8/13 - 24/9/13	59,491.65
EFT86024	17/10/2013	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	510.32
EFT86025	17/10/2013	T-QUIP	DEFLECTOR RUBBER	46.50
EFT86026	17/10/2013	TIM WATERS DESIGN	Design work - Christmas TVC	5,808.00
EFT86027	17/10/2013	TOLL FAST	FREIGHT CHARGES	858.69
EFT86028	17/10/2013	TRAILBLAZERS	SAFETY BOOTS	124.15
EFT86029	17/10/2013	TRAFFIC FORCE	Hours Hire of Traffic Control on 17 September 2013	986.46
EFT86030	17/10/2013	TRUCKLINE	VEHICLE PARTS	171.39
EFT86031	17/10/2013	TRU-BLU GROUP PTY LTD	DAYS HIRE OF 3 TONNE MINI DIGGER	1,212.32
EFT86032	17/10/2013	ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	47.00
EFT86033	17/10/2013	SARAH VALLENTINE	CASUAL HOURS VANCOUVER ARTS CENTRE	360.70
EFT86034	17/10/2013	WAJON PUBLISHING COMPANY	VISITORS CENTRE MERCHANDISE	139.50
EFT86035	17/10/2013	JULIA WARREN	FITNESS INSTRUCTION	135.00
EFT86036	17/10/2013	ALBANY & GREAT SOUTHERN WEEKENDER	COMMUNITY INFO PAGE -19 SEPTEMBER 2013 - GS WEEKENDER	1,014.20
EFT86037	17/10/2013	WESTERBERG PANEL BEATERS	WHEEL ALIGNMENT AND TYRE ROTATION	132.00
EFT86038	17/10/2013	LANDMARK LIMITED	Black posts 150cm	174.90
EFT86039	17/10/2013	WHITFIELD ESTATE & PICNIC IN THE Paddock	VISITORS CENTRE MERCHANDISE	95.70
EFT86040	17/10/2013	WILD EYED PRESS PTY LTD	VISITORS CENTRE MERCHANDISE	526.05
EFT86041	17/10/2013	WORKWISE OCCUPATIONAL HEALTH	CASE CO-ORDINATION/PRE EMPLOYMENT ASSESSMENT	491.88
EFT86042	17/10/2013	YAKKA PTY LTD (KINGGEE WORKWEAR GROUP)	UNIFORMS	235.00
EFT86043	17/10/2013	YOUNGS SIDING GENERAL STORE	BFB FUEL PURCHASES 7/03/13 - 18/9/13	829.17
EFT86044	17/10/2013	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	18.81
EFT86045	17/10/2013	QUALIFIED TREE RISK ASSESSMENT LTD	QTRA training /Visual Tree Assessment Training	1,671.12
EFT86046	18/10/2013	CIVIL SURVEY SOLUTIONS	AUTODESK CONTRACT RENEWAL 28/10/13 - 27/10/14	3,080.00
EFT86047	18/10/2013	PROJECT3 PTY LTD	ALBANY ANZAC EVENTS CONSULTANCY MILESTONE PAYMENT 50% PHASE 2	51,837.50
EFT86048	21/10/2013	ALBANY LEGAL PTY LTD	PURCHASE OF LOT 202 HANRAHAN ROAD MT ELPHINSTONE	512,233.09
EFT86049	24/10/2013	3D CATERING	CATERING FOR BIKE PLAN MEETING	300.00

REPORT ITEM CSF 044 REFERS

EFT86050	24/10/2013	ABA SECURITY	SECURITY MONITORING OCTOBER TO DECEMBER 2013 - VARIOUS LOCATIONS	993.16
EFT86051	24/10/2013	DR BRENDA ABBEY	1 X POSTER SET - ALL ABOUT FEELINGS	36.40
EFT86052	24/10/2013	AD CONTRACTORS PTY LTD	Cubic metres WIN, CRUSH and STOCKPILE gravel to -75mm	30,076.60
EFT86053	24/10/2013	AFL SPORTSREADY LTD	CASUAL/APPRENTICE HIRE	1,214.40
EFT86054	24/10/2013	ALBANY INDUSTRIAL SERVICES PTY LTD	Hours Hire of Semi Tipper	9,504.00
EFT86055	24/10/2013	OPTEON (ALBANY AND GREAT SOUTHERN WA)	Re-valuation of 237m2 portion of Lot 6321 Pfeiffer Road, Manypeaks - widening requirement of the Pfeiffer Road reserve	150.00
EFT86056	24/10/2013	ALBANY PRINTERS	ART PRIZE INVITATIONS, FLYERS AND POPULAR CHOICE FORMS	1,500.00
EFT86057	24/10/2013	ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	72.48
EFT86058	24/10/2013	ALBANY SWEEP CLEAN	Sweeping of carparks, pathways and board walks for September 2013 as per quotation no: Q13023	2,770.00
EFT86059	24/10/2013	ALBANY REFRIGERATION	SCHEDULED PREVENTATIVE MAINTENANCE - SEPTEMBER	1,017.50
EFT86060	24/10/2013	ALBANY SURF LIFE SAVING CLUB	KIDSPORT VOUCHERS	400.00
EFT86061	24/10/2013	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	STATIONERY SUPPLIES	1,464.05
EFT86062	24/10/2013	ALBANY LEGAL PTY LTD	GENERAL ADVICE -CHEYNE BEACH PLAN; DISABLE ACCESS POLICY	334.40
EFT86063	24/10/2013	ALBANY AIRPORT SERVICES PTY LTD	ART TUTOR SERVICES FOR THE SCHOOL HOLIDAY CLASSES OCTOBER 2013	2,735.25
EFT86064	24/10/2013	ALBANY IRRIGATION & DRILLING	IRRIGATION & DRILLING SUPPLIES	2,749.80
EFT86065	24/10/2013	ALINTA	GAS USAGE 186 COLLIE STREET 9/9/13 -9/10/13	383.15
EFT86066	24/10/2013	ATRIUM HOTEL AND CONVENTION CENTRE MANDURAH	ACCOMMODATION AND MEALS REIMBURSEMENT FOR STAFF MEMBER	143.00
EFT86067	24/10/2013	ALL EVENTS PROSOUND HIRE	TOWN HALL WEDNESDAY 16.10.13 - BENDIGO SPRING FESTIVAL	341.25
EFT86068	24/10/2013	AMITY WINDSCREENS	Replace Windscreen	386.00
EFT86069	24/10/2013	PAPERBARK MERCHANTS	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	188.00
EFT86070	24/10/2013	AQUENTA CONSULTING PTY LTD	For the provision of Quantity Surveyor Services for Albany Airport Terminal Security Upgrade (Stage 2) as set out in Q13033 request for quotation.	3,168.00
EFT86071	24/10/2013	ARDESS NURSERY	NURSERY SUPPLIES	1,076.96
EFT86072	24/10/2013	ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	5,889.73
EFT86073	24/10/2013	AUSSIE DRAWCARDS PTY LTD	GREAT SOUTHERN SERVICE - QUARTERLY SERVICE FEES FOR AUGUST, SEPTEMBER AND OCTOBER 2013	198.00
EFT86074	24/10/2013	AYSEMART	VISITORS CENTRE MERCHANDISE	75.00
EFT86075	24/10/2013	BARNESBY FORD	Purchase of new Ford PX Ranger XL Super cab chassis 2.2L Automatic 4x2 H.R. (Plant No. P3173) & Registration and licensing of new vehicle	60,932.60
EFT86076	24/10/2013	BENNETTS BATTERIES	TRANS OIL PURCHASES	154.00
EFT86077	24/10/2013	BERTOLA HIRE SERVICES ALBANY PTY LTD	Hire of mini excavator	257.40
EFT86078	24/10/2013	BEST OFFICE SYSTEMS	RICOH AFICIO SP C242SF MAGENTA TONER	210.00
EFT86079	24/10/2013	BEVANS (WA) PTY LTD	BAGS OF ICE	50.00
EFT86080	24/10/2013	BLACKWOODS	Yellow Safety Cap - V-Gard	7.71
EFT86081	24/10/2013	ALBANY BOBCAT SERVICES	Lime Stone Track Maintenance, Mulch Barnesby Dr, & Griffith St Vegetation Removal for sign shelter	1,232.00
EFT86082	24/10/2013	BONSER DESIGN	FINAL CLAIM 1000 COPIES WA SOUTH COAST	7,436.00
EFT86083	24/10/2013	DAVID BOSTOCK	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86084	24/10/2013	BRITEL ENTERPRISES PTY LTD	ADVERTISING IN SAFETY HOUSE 2013	345.00
EFT86085	24/10/2013	BROWNES FOODS OPERATIONS PTY LTD	CATERING SUPPLIES	378.06
EFT86086	24/10/2013	BUILDING AND CONSTRUCTION IND TRAINING FUND	BCITF LEVY FOR THE MONTH OF SEPTEMBER 2013	1,379.41
EFT86087	24/10/2013	BUNNINGS GROUP LIMITED	The purchase of 2 Steel tool boxes.	127.30
EFT86088	24/10/2013	CAMLYN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	1,042.00

REPORT ITEM CSF 044 REFERS

EFT86089	24/10/2013	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE - INFORMATION BAYS	1,511.07
EFT86090	24/10/2013	CIPRIAN JEWELLERS	CLOCK REPAIRS	28.00
EFT86091	24/10/2013	CJD EQUIPMENT PTY LTD	Oil Cooler, gaskets and sealing ring	1,177.62
EFT86092	24/10/2013	CLARKS NEWSAGENCY & MAP CENTRE	Plastic file sleeves	15.00
EFT86093	24/10/2013	BIS CLEANAWAY LIMITED	CONTRACT RUBBISH COLLECTION	11.99
EFT86094	24/10/2013	COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	1,808.22
EFT86095	24/10/2013	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	660.00
EFT86096	24/10/2013	CONSTRUCTION EQUIPMENT AUSTRALIA	VEHICLE PARTS	570.09
EFT86097	24/10/2013	COURIER AUSTRALIA	FREIGHT CHARGES	330.83
EFT86098	24/10/2013	COVS PARTS PTY LTD	VEHICLE PARTS	141.65
EFT86099	24/10/2013	CD, B, TD & MP COXALL ATF COXALL SUPERANNUATION FUND	Rates Refund	811.63
EFT86100	24/10/2013	CRUMPS CANVAS	Two light covers for utes	280.00
EFT86101	24/10/2013	HOLCIM (AUSTRALIA) PTY LTD	Supply M3 of 25 x 14 x 70 slump (tight) full rate stage 2 of footpath mix to Middleton Rd outside Dog Rock Motel	3,547.72
EFT86102	24/10/2013	DE JONGE MECHANICAL REPAIRS	60000km service as per estimate 23185	308.00
EFT86103	24/10/2013	DE LAGE LANDEN PTY LIMITED	NOTIFICATION OF ASSIGNMENT OF MASTER LEASE AGREEMENT SUPPLIMENT NO. 003 TO MASTER LEASE AGREEMENT NO AS1139 BETWEEN EMC GLOBAL HOLDINGS COMPANY (AUSTRALIA BRANC) AND CITY OF ALBANY	12,842.50
EFT86104	24/10/2013	JANINE DETERMES	FITNESS INSTRUCTION	180.00
EFT86105	24/10/2013	DIRECT LIGHTING	LIGHTING SUPPLIES - TOWN HALL	384.00
EFT86106	24/10/2013	NICHOLAS JAMES DORAI-RAJ	Rates Refund	2,310.42
EFT86107	24/10/2013	CAROLYN DOWLING	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86108	24/10/2013	DON DUFTY	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86109	24/10/2013	ESRI AUSTRALIA PTY LTD	ArcGIS for Desktop Basic CU	37,081.00
EFT86110	24/10/2013	EVERTRANS	Repair side tipper truck as required	8,341.30
EFT86111	24/10/2013	FARM FRESH W/SALERS (VIOLET PARK HOLDINGS P/L	CATERING SUPPLIES	153.55
EFT86112	24/10/2013	ALBANY FILTER CLEAN	FILTER CHANGING/CLEANING	56.00
EFT86113	24/10/2013	THE FIXUPPERY	WINDOW CLEANING FOR THE TOWN HALL	363.65
EFT86114	24/10/2013	FLIPS ELECTRICS	Overhaul oil separator pump as required/Supply and fit Pump Controller to oil separator pump as required	4,269.10
EFT86115	24/10/2013	TAMMIE FLOWER	FITNESS INSTRUCTION	405.00
EFT86116	24/10/2013	FOOD TECHNOLOGY SERVICES	VERIFICATION OF FOOD SAFETY PROGRAM TRAINING	27.50
EFT86117	24/10/2013	FUELS WEST PETROLEUM	LITRES DIESEL FUEL	18,164.25
EFT86118	24/10/2013	GALLERY 500	ART SUPPLIES	172.70
EFT86119	24/10/2013	GLASS SUPPLIERS	Repairs to Emergency Exit Door	1,460.80
EFT86120	24/10/2013	GOLDEN WEST NETWORK PTY LTD	ADVERTISING ON GWN7 - ALAC	1,103.30
EFT86121	24/10/2013	ALISON GOODE	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86122	24/10/2013	GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	2,690.01
EFT86123	24/10/2013	GREAT SOUTHERN GROUP TRAINING	CASUAL STAFF/APPRENTICE FEES	7,264.89
EFT86124	24/10/2013	GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	IMPLEMENT AND MONITOR WHS POLICIES, PROCEDURES AND PROGRAMS TO MEET LEGISLATIVE REQUIREMENTS	79.50
EFT86125	24/10/2013	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING SUPPLIES	526.02
EFT86126	24/10/2013	GSM AUTO ELECTRICAL	Electrical wiring work for jump start batteries	1,813.79
EFT86127	24/10/2013	PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	283.25
EFT86128	24/10/2013	HEADSETERA	Plantronics W745 Headset/Plantronics HL10 lifter	1,105.50

REPORT ITEM CSF 044 REFERS

EFT86129	24/10/2013	PAULINE ELIZABETH HEILBRON	Rates Refund	235.67
EFT86130	24/10/2013	HELEN LEEDER-CARLSON	CONTINUATION ART CLASSES WITH HELEN	480.00
EFT86131	24/10/2013	HITACHI CONSTRUCTION MACHINERY AUSTRALIA	CAB HANDRAIL	256.29
EFT86132	24/10/2013	INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA	REGISTRATION FEES FOR IPWEA TRAINING WEEK	2,100.00
EFT86133	24/10/2013	ALBANY MAPPING AND SURVEYING SERVICES	Site Meeting at Hanrahan Rd Waste facility - Prepare contour and feature survey plan of South Stirling Waste Transfer Station	1,811.15
EFT86134	24/10/2013	JJ'S HIAB SERVICES	SUPPLY OF HIAB FOR TRANSPORTING BOFOR PARTS BETWEEN SANDBLASTERS AND FORTS	176.00
EFT86135	24/10/2013	JOCK'S COMMERCIAL MOWING	Contract Mowing Round October 2013	6,545.00
EFT86136	24/10/2013	JOHN KINNEAR AND ASSOCIATES	Extended beach/hydrographical survey of Emu Point/Middleton Beach.	6,902.50
EFT86137	24/10/2013	JS ROADSIDE PRODUCTS PTY LTD	GUIDE POSTS METAL	15,210.00
EFT86138	24/10/2013	JUST SEW EMBROIDERY	EMBROIDERED WARDENS CAPS	264.00
EFT86139	24/10/2013	KINJARLING INDIGENOUS CORPORATION	WELOCOME TO COUNTRY (NOONGAR ART EXHIBITION) - CAROL PETERSEN	200.00
EFT86140	24/10/2013	KLB SYSTEMS	COMPUTER EQUIPMENT PURCHASES	6,286.50
EFT86141	24/10/2013	LA FREEGARD	Rubber belting cut to length for the Deeps track - Lowlands Reserve & Transport, site preparation and installations of rubber belting at the Deeps	37,229.50
EFT86142	24/10/2013	MARIO LIONETTI	GROCERIES	183.98
EFT86143	24/10/2013	LITTLE GROVE GENERAL STORE	BFB FUEL PURCHASES 4/12/11 - 30/9/13	1,881.22
EFT86144	24/10/2013	LOCKEEZ LUNCHBAR	CATERING	151.50
EFT86145	24/10/2013	LORLAINE DISTRIBUTORS PTY LTD	CLEANING GOODS	747.50
EFT86146	24/10/2013	ALBANY PARTY HIRE	HIRE GEAR FOR EDUCATION CONFERENCE VIP FUNCTION AT TOWN HALL	228.50
EFT86147	24/10/2013	ALBANY CITY MOTORS	Engine Oil Filters	466.76
EFT86148	24/10/2013	METROOF ALBANY	POP RIVETS	14.54
EFT86149	24/10/2013	MICROELECTRONIC TECHNICAL SERVICES	Tate radio change over from P3192 to P3193 (9107A)	550.00
EFT86150	24/10/2013	MOUNT ROMANCE AUSTRALIA PTY LTD	VISITORS CENTRE MERCHANDISE	181.85
EFT86151	24/10/2013	LGIS WORKCARE	INSURANCES	6,966.30
EFT86152	24/10/2013	NATALIE RADIVOJEVIC	COORDINATION DUTIES FOR THE GREAT SOUTHERN ART AWARD	914.96
EFT86153	24/10/2013	NEVILLES HARDWARE & BUILDING SUPPLIES	HARDWARE SUPPLIES - BUILDING SUPPLIES	10.50
EFT86154	24/10/2013	EVELYN MARGARET PATRICIA NIELSEN	Rates Refund	548.26
EFT86155	24/10/2013	ALBANY COMMUNITY PHARMACY	Twin Rix (HebA/HebB)	228.00
EFT86156	24/10/2013	OFFICEWORKS SUPERSTORES PTY LTD	SUPPLY OF 20 X SATIN PHOTOGRAPHIC PRINTS	366.50
EFT86157	24/10/2013	OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	432.18
EFT86158	24/10/2013	ORICA AUSTRALIA P/L	CHLORINE SUPPLIES	342.88
EFT86159	24/10/2013	ORIGIN ENERGY	BULK GAS SUPPLIES	7,216.95
EFT86160	24/10/2013	PAULS PET FOOD	Bags of dry dog biscuits	57.00
EFT86161	24/10/2013	MICHAEL CAREW PEMBERTON	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86162	24/10/2013	PLASTICS PLUS	SUPPLY OF PLASTIC WHEELIE BINS 120LITRE AND 240 LITRE	1,738.00
EFT86163	24/10/2013	PORTNER PRESS PTY LTD	EMPLOYMENT HANDBOOK	294.00
EFT86164	24/10/2013	RADIOWEST BROADCASTERS PTY LTD	ALAC Advertising for Hot FM	4,217.95
EFT86165	24/10/2013	REALM STUDIOS PTY LTD	The Mounts Precinct Master Plan	825.00
EFT86166	24/10/2013	REECE PTY LTD	Being for the supply of a household Ultraviolet water filter	1,051.23
EFT86167	24/10/2013	W P REID	Lift and relay pavers, remove old concrete apron and install new concrete apron	2,266.00
EFT86168	24/10/2013	SCOTT REITSEMA	TRAINING AND REGIONAL HEALTH MEETING	78.90
EFT86169	24/10/2013	RTK NETWEST	SUPPLY RTK NETWEST VRS ANNUAL SUBSCRIPTION FROM 16/11/13 -15/11/14	4,400.00
EFT86170	24/10/2013	CHILD AUSTRALIA	COURSE DAYCARE STAFF - ROLE OF EDUCATIONAL LEADER	165.00

REPORT ITEM CSF 044 REFERS

EFT86171	24/10/2013	JAMIE SCALLY	ENTERTAINMENT FOR NAIDOC WEEK 2013	750.00
EFT86172	24/10/2013	SCOOP PUBLISHING PTY LTD	ADVERTISING IN SCOOP TRAVELLER	1,100.00
EFT86173	24/10/2013	SERENITY PARK	DISPOSAL OF ANIMALS	280.00
EFT86174	24/10/2013	G & L SHEETMETAL	FABRICATE S/STEEL BOX GUTTER SUMPS	786.50
EFT86175	24/10/2013	NEVILLE ROBERT SHEARER	Rates Refund	249.61
EFT86176	24/10/2013	SKILL HIRE WA PTY LTD	CASUAL STAFF/APPRENTICE FEES	8,606.05
EFT86177	24/10/2013	SHANNON EDWINA SMITH	Rates Refund	777.43
EFT86178	24/10/2013	SOUTHERN ELECTRICS	SCHEDULED PREVENTATIVE MAINTENANCE AQUATIC PLANT - QUARTERLY JULY	2,763.53
EFT86179	24/10/2013	SOUTHWAY DISTRIBUTORS PTY LTD	CATERING GOODS	2,276.38
EFT86180	24/10/2013	SPEEDO AUSTRALIA PTY LTD	SWIMMING SUPPLIES	13.75
EFT86181	24/10/2013	SUGGS TIMBER MACHINING	TIMBER SUPPLIES	990.00
EFT86182	24/10/2013	SUNNY INDUSTRIAL BRUSHWARE	Main brooms to suit McDonald Johnston sweeper	803.00
EFT86183	24/10/2013	SUNNY SIGN COMPANY	ASSORTED SIGNAGE	5,362.09
EFT86184	24/10/2013	ALBANY LOCK SERVICE	KEYS FIRE GATE C4 & PADLOCKS E3 TYPE	855.70
EFT86185	24/10/2013	ROBERT SUTTON	REFUND OF COUNCIL NOMINATION FEE	80.00
EFT86186	24/10/2013	SYNERGY	ELECTRICITY SUPPLIES	40,470.90
EFT86187	24/10/2013	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	105.36
EFT86188	24/10/2013	TECTONICS CONSTRUCTION GROUP P/L	Construction of Anzac Peace Park Shared Path - C13007	21,234.38
EFT86189	24/10/2013	THINKWATER ALBANY	IRRIGATION SUPPLIES	4,946.04
EFT86190	24/10/2013	TME TOWN PLANNING MANAGEMENT ENGINEERING PTY LTD	DESIGN OF NORTH ROAD DRAINAGE - WEST OF CAMPBELL ROAD	9,350.00
EFT86191	24/10/2013	TRAFFIC FORCE	Hours Hire of Traffic Control	4,641.68
EFT86192	24/10/2013	TRUCKLINE	VEHICLE PARTS	28.40
EFT86193	24/10/2013	VANCOUVER WASTE SERVICES (ARMOGEDIN PTY LTD)	BULK GREEN WASTE SERVICES	25,496.46
EFT86194	24/10/2013	SARAH VALLENTINE	VANCOUVER ARTS ADMINISTRATION ASSISTANCE	257.64
EFT86195	24/10/2013	DIANE MARION WALSH	REFUND FOR OIL PAINTING WORKSHOP	153.00
EFT86196	24/10/2013	JULIA WARREN	FITNESS INSTRUCTION	135.00
EFT86197	24/10/2013	ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING - TOURIST GUIDE SEPTEMBER 2013	105.60
EFT86198	24/10/2013	WELLSTEAD COMMUNITY RESOURCE CENTRE INC	CARPET CLEANING OF LIBRARY AREA	100.00
EFT86199	24/10/2013	WA LOCAL GOVERNMENT ASSOCIATION	WALGA training - Preparing Minutes and Agendas & Councillor Roles & Responsibilities training.	11,165.58
EFT86200	24/10/2013	WIRTGEN AUSTRALIA PTY LTD	LOCK OUTSIDE HANDLE	137.12
EFT86201	24/10/2013	DIANNE LYN WOLFER	Professional services for Yakamia Primary School history writing programme	450.00
EFT86202	24/10/2013	WOOD AND GRIEVE ENGINEERS	Amendment to design of Princess Avenue Upgrade.	2,981.00
EFT86203	24/10/2013	WURTH AUSTRALIA PTY LTD	R CLIPS AND HOSE CLAMPS	115.75
EFT86204	24/10/2013	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	12.54
EFT86205	24/10/2013	KATE PARKER	MILESTONE PAYMENT 10 FOR ART PRIZE COORDINATION	2,500.00
EFT86206	24/10/2013	WIRNDA BARNA ARTISTS INC	COMMENDATION AWARD ALBANY ART PRIZE 2013	2,500.00
EFT86207	25/10/2013	BAROSSA MUSIC CENTRE PTY LTD	AKG WIRELESS HEADSET	419.00
EFT86208	25/10/2013	WAUTERS ENTERPRISES PTY LTD	Mount Clarence Infrastructure Upgrade - Construction Services in accordance with C13001, Appendix F.	362,580.47
EFT86209	25/10/2013	ISIS CAPITAL LIMITED	BALANCE OF EQUIPMENT CONTRACTS 1257-001 & 1257-002	22,087.23
EFT86210	29/10/2013	OCEAN PRESENCE TECHNOLOGIES	Hemisphere AquariCam + SHIPPING	6,070.00
EFT86211	29/10/2013	SELEX SYSTEMS INTERGRATION INC	RF AMPLIFIER ASSY	1,800.00
EFT86212	31/10/2013	3D CATERING	CATERING	90.00
EFT86213	31/10/2013	14 PEELS PLACE	CATERING	200.00

REPORT ITEM CSF 044 REFERS

EFT86214	31/10/2013	ABA SECURITY	SECURITY SERVICES	461.29
EFT86215	31/10/2013	AD CONTRACTORS PTY LTD	Hours Hire of Dozer for rehab works at South Coast Highway gravel pit - Pascoe's	11,585.00
EFT86216	31/10/2013	AECOM AUSTRALIA PTY LTD	MOUNT CLARENCE INFRASTRUCTURE UPGRADE SUPERINTENDENT SERVICES	42,035.95
EFT86217	31/10/2013	AGCRETE ALBANY	Supply 1050mm x 750mm Standard Lid	88.00
EFT86218	31/10/2013	ALBANY TOYOTA	VEHICLE PARTS/MAINTENANCE - TOYOTA VDJ9RTMRYQ3	87.15
EFT86219	31/10/2013	ALBANY STATIONERS	STATIONERY SUPPLIES	71.30
EFT86220	31/10/2013	ALBANY INDOOR PLANT HIRE	INDOOR PLANT HIRE - VARIOUS LOCATIONS	980.31
EFT86221	31/10/2013	ALBANY PANEL BEATERS AND SPRAY PAINTERS	INSURANCE EXCESS AS ADVISED BY INSURANCE CO.	300.00
EFT86222	31/10/2013	COASTAL CRANES ALBANY	Submission on the 2nd August 2013 - Princess Royal Fortress relocation of naval guns.	23,304.50
EFT86223	31/10/2013	ALBANY REFRIGERATION	SUPPLY AND INSTALL REPLACEMENT DAIKIN AIR CONDITIONING UNIT	4,393.34
EFT86224	31/10/2013	GO WEST TOURS	PORT TOUR - 4 HR MIN CHARGE IN 53 SEATER COACH - Thursday 24 October 2013	1,738.00
EFT86225	31/10/2013	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	STATIONERY SUPPLIES	121.90
EFT86226	31/10/2013	ALBANY PSYCHOLOGICAL SERVICES	EAP CONSULTATION FEES	396.00
EFT86227	31/10/2013	ALBANY QUALITY LAWNMOWING	LAWN MOWING AT LOTTERIES HOUSE	100.00
EFT86228	31/10/2013	ALL EVENTS PROSOUND HIRE	AUDIO EQUIPMENT HIRE TOWN HALL	1,508.67
EFT86229	31/10/2013	PAUL JOHN ANDERSON	Gravel Royalties for September 2013 push	15,543.00
EFT86230	31/10/2013	ARMADILLO GROUP	GRACO REPAIR KIT	168.30
EFT86231	31/10/2013	ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	3,904.46
EFT86232	31/10/2013	BADGEMATE	MAGNETIC BADGES	256.85
EFT86233	31/10/2013	BARNESBY FORD	P3275 - RANGER XL 2.2 HI-RIDER (4x2) PX SUPER C/CHAS DIESEL TURBO F/INJ 6 SP AUTOMATIC with bull bars and tow bar	56,688.25
EFT86234	31/10/2013	BARRETT'S MINI EARTHMOVING & CHIPPING	Removal of Willow tree from 62a Stead Road	1,716.00
EFT86235	31/10/2013	BARKERS TRENCHING SERVICES	Service locating for airport car park upgrade	675.00
EFT86236	31/10/2013	BENNETT'S BATTERIES	BATTERY PURCHASES	387.20
EFT86237	31/10/2013	BLACKWOODS	HI VIS WORK WEAR	14.81
EFT86238	31/10/2013	BLOOMIN FLOWERS	Wreath for Nurses Memorial Day to be delivered on Friday 25 October	60.00
EFT86239	31/10/2013	BRANDNET PTY LTD T/AS MILITARY SHOP	MERCHANDISE SUPPLIES	307.00
EFT86240	31/10/2013	BROWNE'S FOODS OPERATIONS PTY LTD	CATERING SUPPLIES	185.82
EFT86241	31/10/2013	BUNNINGS GROUP LIMITED	HARDWARE/TOOL SUPPLIES	373.54
EFT86242	31/10/2013	CABCHARGE AUSTRALIA LIMITED	TAXI FARES	405.90
EFT86243	31/10/2013	CAMLIN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	65.00
EFT86244	31/10/2013	CAMPING KAYAKS & 4 X 4	Uniden UHF Radios UH710SX-2NB-TP, Duramesh Tarp 12x16 & Steel Peg 300x8mm	336.20
EFT86245	31/10/2013	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL MAINTENANCE/REPAIRS	11,832.59
EFT86246	31/10/2013	CHARITY GREETING CARDS	150 Personalised Christmas cards from Albany Public Library	378.30
EFT86247	31/10/2013	CHRIS MORRISON	Consultant Services for the Creation of a Student Accommodation Solution	8,616.70
EFT86248	31/10/2013	CIPRIAN JEWELLERS	REPAIR CLOCK FITTINGS	22.00
EFT86249	31/10/2013	CJD EQUIPMENT PTY LTD	Expansion tank and guard to suit Volvo L90 loader	568.14
EFT86250	31/10/2013	COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	1,378.58
EFT86251	31/10/2013	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	672.07
EFT86252	31/10/2013	COURIER AUSTRALIA	FREIGHT FEES	344.84
EFT86253	31/10/2013	LESTER COYNE	WELCOME TO COUNTRY ADDRESS CITY OF ALBANY ART AWARDS	200.00
EFT86254	31/10/2013	DOWNER EDI WORKS PTY LTD	DROPS OF HOTMIX TO FILL DEPRESSIONS IN ROAD.	996.08
EFT86255	31/10/2013	DEEP WOODS SURVEYS WESTERN AUSTRALIA PTY LTD	ABORIGINAL HERITAGE SURVEY AND PREPARATION OF DOCUMENTS, CENTENNIAL PARK MASTER PLAN, JULY 2013	15,270.00
EFT86256	31/10/2013	DE JONGE MECHANICAL REPAIRS	VEHICLE SERVICING	762.00

REPORT ITEM CSF 044 REFERS

EFT86257	31/10/2013	LANDGATE - PROPERTY & VALUATIONS	LAND ENQUIRIES/TITLE SEARCHES	456.00
EFT86258	31/10/2013	DEPARTMENT OF TRANSPORT	ANNUAL JETTY LICENCE - COMMENCING NOVEMBER 1 2013 - PUBLIC JETTY NUMBER 2864, CORNER MARINE DRIVE & FLINDERS PARADE - REF NO. LM2864	36.31
EFT86259	31/10/2013	JANINE DETERMES	FITNESS INSTRUCTION	180.00
EFT86260	31/10/2013	DOG ROCK MOTEL	Accommodation & Meals	894.20
EFT86261	31/10/2013	DON DUFTY	MILEAGE CLAIM	946.30
EFT86262	31/10/2013	DUNKELD CONSTRUCTION	REPLACE ROLLERS TO ALL SHEDS AND FIT LOCKS AT BORNHOLM FESA FIRE SHED	2,200.00
EFT86264	31/10/2013	EYERITE SIGNS	ASSORTED SIGNAGE	1,540.00
EFT86265	31/10/2013	ALLAN DAVID FLETT	CARRIED OUT ANNUAL SERVICE P64	1,792.19
EFT86266	31/10/2013	FLIPS ELECTRICS	Install 3 phase plug and socket at lakeside bore, repair control gear	1,111.00
EFT86267	31/10/2013	TAMMIE FLOWER	FITNESS INSTRUCTOR	360.00
EFT86268	31/10/2013	FUELS WEST PETROLEUM	LITRES DIESEL FUEL	15,915.26
EFT86269	31/10/2013	GLASS SUPPLIERS	REGLAZE WINDOWS/DOORS	66.00
EFT86270	31/10/2013	GORDON WALMSLEY PTY LTD	Supply and lay Lm of Mountable kerb, Supply and lay Lm of Mountable kerb through crossovers, keyed in with bar reinforcement & Supply and lay m2 of black asphalt 25mm thick	50,844.00
EFT86271	31/10/2013	GSP WORKFORCE	CASUAL LABOUR HIRE	275.80
EFT86272	31/10/2013	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	1,708.45
EFT86273	31/10/2013	ANDREW GREENWOOD	REIMBURSEMENTS -TRAINING COURSE IN PERTH	275.18
EFT86274	31/10/2013	GSM AUTO ELECTRICAL	2 Truck batteries and 2 battery leads as required.	532.56
EFT86275	31/10/2013	HART SPORT	SPORTING EQUIPMENT	88.50
EFT86276	31/10/2013	HEELAN & CO	EBA DRAFT REVIEW	1,390.05
EFT86277	31/10/2013	HELEN LEEDER-CARLSON	RELIEF WORK AT VANCOUVER ARTS CENTRE	160.00
EFT86278	31/10/2013	JR AND A HERSEY PTY LTD	PROTECTIVE WORKWEAR	1,015.20
EFT86279	31/10/2013	H AND H ARCHITECTS	Consultant Services - Albany Airport Terminal Security Upgrade Stage 2 as set out in request for tender C13008.	25,003.00
EFT86280	31/10/2013	IMPART MEDIA PTY LTD	AMAZING ALBANY WEBSITE REDEVELOPMENT	13,540.45
EFT86281	31/10/2013	TOLL IPEC	FREIGHT CHARGES	713.45
EFT86282	31/10/2013	JACK THE CHIPPER	Tractor Mulching of woody weeds Miniup Motor cross track.	1,778.70
EFT86283	31/10/2013	ALBANY MAPPING AND SURVEYING SERVICES	Research & purchase old plans, diagrams & survey field notes from landgate archives, Materials: Concrete, Survey pegs, Steel reference marks, Stakes, Flagging & Paint, Field work: Landfill boundary re-established, Hanrahan Rd & Travel expenses	1,662.65
EFT86284	31/10/2013	JUST SEW EMBROIDERY	EMBROIDERY	99.00
EFT86285	31/10/2013	KALGAN BUSHFIRE BRIGADE	2013/14 ESL PAYMENT - ALLOCATION ADDITIONAL PURCHASE OF PPE	2,337.14
EFT86286	31/10/2013	RONALD KERRUISH	Rates Refund	4,177.65
EFT86287	31/10/2013	DAVID KING	TRAINING REIMBURSEMENTS	92.20
EFT86288	31/10/2013	KIRSTEN SIVYER	PEOPLES CHOICE WINNER - ALBANY ART PRIZE	3,438.88
EFT86289	31/10/2013	KLB SYSTEMS	7Flex™ gas articulated LCD arm with FLEXmount (black), 7Flex Two inch extender, 7Flex Six inch extender & Delivery Per Order	506.00
EFT86290	31/10/2013	KNOTTS GROUP PTY LTD	PLUMBING REPAIRS/MAINTENANCE	1,409.34
EFT86291	31/10/2013	KOOKAS CATERING	CATERING	3,680.00
EFT86292	31/10/2013	LATRO LAWYERS	DEED OF ASSIGNMENT LEASE	687.50
EFT86293	31/10/2013	STATE LIBRARY OF WESTERN AUSTRALIA	State Library of WA Seminar registrations for Library Staff	678.96
EFT86294	31/10/2013	MARIO LIONETTI	GROCERIES FOR DAY CARE CENTRE	207.49

REPORT ITEM CSF 044 REFERS

EFT86295	31/10/2013	LORLAINE DISTRIBUTORS PTY LTD	CLEANING SUPPLIES	633.00
EFT86296	31/10/2013	LOWANNA COUNTRY ESTATE	Rates Refund	967.00
EFT86297	31/10/2013	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	299.71
EFT86298	31/10/2013	MARGOT BRYNE	REFUND FOR SWIM LESSONS	26.00
EFT86299	31/10/2013	MASTER INSTRUMENTS PTY LTD	Batteries - 12SB75 for glidepath shed as requested by Airservices Australia	498.76
EFT86300	31/10/2013	JAMES MCLEAN - SCULPTURAL TIMBER CREATIONS	Mills Park Log Jumble Climbing Structure	26,070.00
EFT86301	31/10/2013	MERRIFIELD REAL ESTATE	RENT FOR NOVEMBER 2013 - 23/71 COCKBURN RD	200.00
EFT86302	31/10/2013	METROOF ALBANY	STEEL SUPPLIES	636.08
EFT86303	31/10/2013	MJB INDUSTRIES PTY LTD	BUILDING SUPPLIES	8,945.20
EFT86304	31/10/2013	M M ELECTRICAL MERCHANDISING	SPARE KEY SUIT IP020 NI020 HN020 LOCKS (WINDSOCK CABINET KEY)	11.00
EFT86305	31/10/2013	MSS SECURITY	AIRPORT SECURITY SCREENING DELAYED FLIGHTS SEPTEMBER 2013	1,233.20
EFT86306	31/10/2013	LGIS LIABILITY	INSURANCES	502,422.69
EFT86307	31/10/2013	NATALIE RADIVOJEVIC	PROVIDING GALLERY ATTENDANCE DUTIES FOR TE CITY OF ALBANY ART PRIZE AT TOWN HALL	123.17
EFT86308	31/10/2013	NATIONAL PEN PROMOTIONAL PRODUCTS LTD.	PLASTIC COVER NOTE PAD - BRICK COLOUR, CUSTOMISED ART WORK CREATION / MODIFICATION, HANDLING CHARGES AND SHIPPING CHARGES	587.74
EFT86309	31/10/2013	PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	Concrete manhole lid 1200mmx1200mm /Concrete manhole lid 1200mm round w/concrete insert to suit 1050mm cylinder	467.50
EFT86310	31/10/2013	ALBANY NEWS DELIVERY - ALAC	NEWSPAPER DELIVERIES	110.76
EFT86311	31/10/2013	OCS SERVICES PTY LTD	CLEANING SERVICES OCTOBER	10,611.15
EFT86312	31/10/2013	OFFICEWORKS SUPERSTORES PTY LTD	SanDisk 8GB CZ52 Switch USB Flash Drive	231.97
EFT86313	31/10/2013	OKEEFE'S PAINTS	PAINT/PAINTING SUPPLIES	550.29
EFT86314	31/10/2013	ORIGIN ENERGY	LP GAS DELIVERY - ALAC	11,161.90
EFT86315	31/10/2013	PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Earthworks and formwork required for naval gun relocation	60,030.61
EFT86316	31/10/2013	PC MACHINERY	THROTTLE LEVER 84596	76.89
EFT86317	31/10/2013	PETER GRAHAM AND COMPANY LTD	Extendable wand Solo	79.50
EFT86318	31/10/2013	PLASTICS PLUS	FUEL CAN SPOUT/STOPPER/SPOUT GASKET	33.59
EFT86319	31/10/2013	KRISTIE PORTER	FITNESS INSTRUCTION	697.50
EFT86320	31/10/2013	PRECISION HEARING	BASELINE HEARING TEST	176.00
EFT86321	31/10/2013	PROMOTIONS ONLY	LANYARDS FOR CLIPPER EVENT	561.00
EFT86322	31/10/2013	PROTEK ELECTRONICS PTY LTD	Proximity Keys & Freight	386.10
EFT86323	31/10/2013	ANDY QUILTY	SALE OF ART WORK - ALBANY ART PRIZE	3,262.50
EFT86324	31/10/2013	REEVES AND COMPANY BUTCHERS PTY LTD	Onions and bread rolls for UWA Forts Volunteers	40.00
EFT86325	31/10/2013	REECE PTY LTD	Lengths of 300mm X 6m Stormpro pipe	726.00
EFT86326	31/10/2013	ROAD SPECIALIST AUSTRALIA PTY LTD	HEATING ELEMENT 240V	1,054.02
EFT86327	31/10/2013	ROBINSON BUILDTECH	5% RETENTION ALLOWANCE AS PER CONTRACT C12017	2,960.36
EFT86328	31/10/2013	SEEK LIMITED	SEEK JOB AD FOR TEAM LEADER OF RANGER SERVICES	264.00
EFT86329	31/10/2013	SHEILAH RYAN	GARDENING AT VANCOUVER ARTS CENTRE OCTOBER 2013	390.00
EFT86330	31/10/2013	SKILL HIRE WA PTY LTD	CASUAL STAFF/APPRENTICE FEES	1,905.54
EFT86331	31/10/2013	SKILLPATH SEMINARS	SOCIAL MEDIA MARKETING TRAINING DAY	3,800.01
EFT86332	31/10/2013	SOUTHERN ELECTRICS	SCHEDULED PREVENTATIVE ELECTRICAL MAINTENANCE	702.69
EFT86333	31/10/2013	SOUTHWAY DISTRIBUTORS PTY LTD	CATERING GOODS - ALAC	1,211.78
EFT86334	31/10/2013	SOUTH COAST PROGRESS ASSOCIATION	SUPPORT RURAL COMMUNITIES	1,785.00
EFT86335	31/10/2013	SPOT-ON RADIATOR SERVICE	TEST OIL COOLER RADIATOR	65.00

REPORT ITEM CSF 044 REFERS

EFT86336	31/10/2013	STATEWIDE BEARINGS	VEHICLE PARTS	302.83
EFT86337	31/10/2013	SAI GLOBAL LTD	INTERNET DOWNLOAD	229.75
EFT86338	31/10/2013	GREGORY BRIAN STOCKS	QUARTERLY MILEAGE CLAIM @ \$0.75 PER KL	1,019.96
EFT86339	31/10/2013	SUNNY SIGN COMPANY	STREET SIGNAGE	206.80
EFT86340	31/10/2013	ALBANY LOCK SERVICE	LOCKSMITH SERVICES/REPAIRS	448.10
EFT86341	31/10/2013	SUSIE DUREAU	SALE OF ART WORK LESS	398.75
EFT86342	31/10/2013	SYNERGY	GROUPED ELECTRICITY ACCOUNT	14,522.90
EFT86343	31/10/2013	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	504.07
EFT86344	31/10/2013	THINGZ LIVING	Replace a water damaged bathroom storage unit	69.99
EFT86345	31/10/2013	TRAILBLAZERS	GAS REFILLS	50.60
EFT86346	31/10/2013	TRAFFIC FORCE	Hours Hire of Traffic Control	8,978.02
EFT86347	31/10/2013	TRU-BLU GROUP PTY LTD	Hedger hire	44.99
EFT86348	31/10/2013	UBIQUITI WAREHOUSE	POE 14 TO 48V DC/DC CONVERTER X 2, 900 MHZ 16 DBI MIMO YAGI PAIR, ROCKET M900 & FREIGHT	1,063.81
EFT86349	31/10/2013	UNIVERSITY OF WESTERN AUSTRALIA	CITY OF ALBANY PRIZE AT UWA ALBANY CENTRE	1,000.00
EFT86350	31/10/2013	VANCOUVER WASTE SERVICES (ARMOGEDIN PTY LTD)	GREEN WASTE SERVICES	662.75
EFT86351	31/10/2013	SARAH VALLENTINE	CASUAL HOURS VANCOUVER ARTS CENTRE	141.70
EFT86352	31/10/2013	ETIENNE VORSTER	COASTAL EROSION INVESTIGATION	43.00
EFT86353	31/10/2013	WADE MARSHALL PLUMBING	REPLACE FAULTY THERMOSTATIC MIXING VALVE AT THE ALBANY REGIONAL DAY CAR CENTRE	686.40
EFT86354	31/10/2013	JULIA WARREN	FITNESS INSTRUCTION	180.00
EFT86355	31/10/2013	WARWICK WESTMORE	RELOCATION EXPENSES	4,000.00
EFT86356	31/10/2013	ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING	359.04
EFT86357	31/10/2013	WELLSTEAD AUTOMOTIVE SERVICES	VEHICLE SERVICING P99 - WELLSTEAD FIRE TRUCK	1,466.30
EFT86358	31/10/2013	WESTRAC EQUIPMENT PTY LTD	VEHICLE PARTS/REPAIRS	729.91
EFT86359	31/10/2013	WIRTGEN AUSTRALIA PTY LTD	LED RED/AMB SIDE MARKER	53.50
EFT86360	31/10/2013	YAKKA PTY LTD (KINGGEE WORKWEAR GROUP)	SAFETY WORKWEAR	476.06
EFT86361	31/10/2013	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	30.42
EFT86362	31/10/2013	EASIFLEET MANAGEMENT	MOTOR VEHICLE LEASE RENTAL/ESP BUREAU FEE/BUREAU FEE REBATE	6,929.57
EFT86363	31/10/2013	PROJECT3 PTY LTD	ALBANY ANZAC EVENTS CONSULTANCY MILESTONE PAYMENT	40,837.50
EFT86364	01/11/2013	MAITRAYA PRIVATE RETREAT	30% DEPOSIT 4 NIGHTS @ FISHERMANS LODGE 30 OCT 2014 - 3 NOV 2014	1,440.00
EFT86365	07/11/2013	ABUNDANT SPERANNUATION FUND	Superannuation contributions	488.74
EFT86366	07/11/2013	AJW SUPERANNUATION FUND	Superannuation contributions	659.84
EFT86367	07/11/2013	ALBANY COMMUNITY HOSPICE	Payroll deductions	66.00
EFT86368	07/11/2013	AMP SUPERANNUATION LIMITED	Superannuation contributions	2,821.06
EFT86369	07/11/2013	AUSTRALIAN TAXATION OFFICE	Payroll deductions	431,031.52
EFT86370	07/11/2013	AUSTRALIAN SERVICES UNION WA BRANCH	Payroll deductions	6,440.12
EFT86371	07/11/2013	PRIME SUPER	Superannuation contributions	1,639.65
EFT86372	07/11/2013	AUSTRALIAN SUPER	Superannuation contributions	7,348.29
EFT86373	07/11/2013	BANSCOTT SUPER FUND	Superannuation contributions	933.12
EFT86374	07/11/2013	BT SUPER FOR LIFE	Superannuation contributions	679.53
EFT86375	07/11/2013	BT SUPER FOR LIFE	Superannuation contributions	491.79
EFT86376	07/11/2013	BT SUPER FOR LIFE	Superannuation contributions	145.12
EFT86377	07/11/2013	CHILD SUPPORT AGENCY	Payroll deductions	3,016.23

REPORT ITEM CSF 044 REFERS

EFT86378	07/11/2013	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation contributions	1,227.15
EFT86379	07/11/2013	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation contributions	1,373.77
EFT86380	07/11/2013	CULLOTON SUPERANNUATION FUND	Superannuation contributions	146.67
EFT86381	07/11/2013	FIRST STATE SUPER	Superannuation contributions	1,163.50
EFT86382	07/11/2013	GENERATIONS PERSONAL SUPER FUND	Superannuation contributions	104.13
EFT86383	07/11/2013	GENERATIONS PERSONAL SUPER FUND	Payroll deductions	674.55
EFT86384	07/11/2013	GENERATIONS PERSONAL SUPER FUND	Superannuation contributions	52.25
EFT86385	07/11/2013	HBF OF WA	Payroll deductions	1,281.60
EFT86386	07/11/2013	ING INTEGRA SUPER	Superannuation contributions	376.62
EFT86387	07/11/2013	ING ONE ANSWER PERSONAL SUPER	Superannuation contributions	776.16
EFT86388	07/11/2013	JACQUI AND ROSS SUPER FUND	Superannuation contributions	134.92
EFT86389	07/11/2013	NORTH PERSONAL SUPERANNUATION & PENSION FUND	Superannuation contributions	932.71
EFT86390	07/11/2013	OAK TREE SUPERANNUATION FUND	Superannuation contributions	333.23
EFT86391	07/11/2013	ONEPATH LIFE LIMITED	Superannuation contributions	232.30
EFT86392	07/11/2013	REST SUPERANNUATION	Superannuation contributions	9,400.34
EFT86393	07/11/2013	MARITIME SUPER	Superannuation contributions	310.59
EFT86394	07/11/2013	SUMMIT MASTER TRUST PERSONAL SUPERANNUATION PLAN	Superannuation contributions	54.37
EFT86395	07/11/2013	WA LOCAL GOVT SUPERANNUATION	Superannuation contributions	198,211.22
EFT86396	07/11/2013	WAYNE JOHN STEAD PTY LTD SUPERANNUATION FUND	Payroll deductions	1,509.12
EFT86397	07/11/2013	WESTSCHEME	Superannuation contributions	3,960.71
EFT86398	07/11/2013	14 PEELS PLACE	CATERING	180.00
EFT86399	07/11/2013	ACORN TREES AND STUMPS	REMOVAL OF DANGEROUS TREES	5,325.00
EFT86400	07/11/2013	ACURIX NETWORKS PTY LTD	11 Months aCure Technology Managed WiFi Service at Albany Airport	847.00
EFT86401	07/11/2013	AERODROME MANAGEMENT SERVICES PTY LTD	Update of Obstical Limitation Surface (OLS) for Albany Airport	5,544.00
EFT86402	07/11/2013	ALBANY BRAKE AND CLUTCH	Carryout brake repairs as required to Pig trailer	2,357.00
EFT86403	07/11/2013	ALBANY INDUSTRIAL SERVICES PTY LTD	HOURS SEMI TIPPER HIRE	3,366.00
EFT86404	07/11/2013	ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	899.04
EFT86405	07/11/2013	ALBANY GAS CENTRE PTY LTD	REPAIR SPA BOILER LEAK AND LACK OF FLAME	1,858.00
EFT86406	07/11/2013	ALBANY MONUMENTAL MASONS	TO PROVIDE (3) THREE ALBANY GRANITE PIECES & TO INSCRIBE WITH ALUMINIUM METAL SPRAY	1,871.32
EFT86407	07/11/2013	ALBANY PORT AUTHORITY	ANNUAL LEASE HMAS PERTH DIVE WRECK	11.00
EFT86408	07/11/2013	ALBANY REFRIGERATION	REFRIGERATON REPAIRS	1,389.52
EFT86409	07/11/2013	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	STATIONERY SUPPLIES	1,875.25
EFT86410	07/11/2013	ALBANY QUALITY LAWNMOWING	LAWNMOWNG AT LOTTERIES HOUSE 12 OF 15	100.00
EFT86411	07/11/2013	ALBANY MILK DISTRIBUTORS	MILK DELIVERIES - NORTH ROAD	514.20
EFT86412	07/11/2013	ALBANY OFFICE PRODUCTS DEPOT - LIBRARY	STATIONERY SUPPLIES	371.00
EFT86413	07/11/2013	ALBANY LEGAL PTY LTD	VERVE - WINDFARM ACCESS AGREEMENT	585.20
EFT86414	07/11/2013	ALINTA	GAS USAGE CHARGES 1 PARKER STREET LOCKYER	23.30
EFT86415	07/11/2013	ALL EVENTS PROSOUND HIRE	ANZAC Forum audio - town hall	1,492.50
EFT86416	07/11/2013	AMITY PAINTING & DECORATING	REPAIR DAMAGED PAINT	1,265.00
EFT86417	07/11/2013	ANDREW HALSALL PHOTOGRAPHY	VISITORS CENTRE MERCHANDISE	672.00
EFT86418	07/11/2013	NAREE ASHFORD	LIBRARY CONFERENCE REIMBURSEMENTS	177.50
EFT86419	07/11/2013	ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	5,889.73
EFT86420	07/11/2013	BADGEMATE	STAFF NAME BADGES	108.68

REPORT ITEM CSF 044 REFERS

EFT86421	07/11/2013	BAREFOOT CLOTHING MANUFACTURERS	UNIFORMS - FORTS VOLUNTEER	44.55
EFT86422	07/11/2013	BARRETT'S MINI EARTHMOVING & CHIPPING	The removal of large Pine Tree	9,782.00
EFT86423	07/11/2013	BENNETT'S BATTERIES	BATTERY PURCHASES AC DEEP CYCLE BATTERY	176.00
EFT86424	07/11/2013	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	1,538.00
EFT86425	07/11/2013	BLACKWOODS	SAFETY WORKWEAR	162.29
EFT86426	07/11/2013	BLOOMIN FLOWERS	1 X BOUQUET OF FLOWERS	55.00
EFT86427	07/11/2013	BOC GASES AUSTRALIA LIMITED	Oxygen tank exchange	27.99
EFT86428	07/11/2013	SARAH BOWLES	QUARTERLY MILEAGE CLAIM	577.80
EFT86429	07/11/2013	BROWNE'S FOODS OPERATIONS PTY LTD	CATERING SUPPLIES	246.59
EFT86430	07/11/2013	BUNNINGS GROUP LIMITED	NURSERY SUPPLIES	45.36
EFT86431	07/11/2013	BWS CONSULTING	THE PROVISION OF ORGANISATIONAL CULTURE AND LEADERSHIP DEVELOPMENT SERVICES	6,600.00
EFT86432	07/11/2013	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE - BOARDWALK AT MIDDLETON BEACH	315.70
EFT86433	07/11/2013	CIVIC LEGAL	LEGAL COSTS RATES RECOVERY	206.25
EFT86434	07/11/2013	COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	1,201.07
EFT86435	07/11/2013	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	739.02
EFT86436	07/11/2013	COURIER AUSTRALIA	FREIGHT FEES	205.49
EFT86437	07/11/2013	COUNTRY ARTS WA	ANNUAL REGIONAL COMMUNITY ORGANISATION MEMBERSHIP	77.00
EFT86438	07/11/2013	ALBANY SIGNS	BLACK VINYL LETTERING	44.00
EFT86439	07/11/2013	COVS PARTS PTY LTD	VEHICLE PARTS	442.80
EFT86440	07/11/2013	DOWNER EDI WORKS PTY LTD	Tonnes COLDMIX	1,215.46
EFT86441	07/11/2013	HOLCIM (AUSTRALIA) PTY LTD	Supply m3 of 25x14x70 slump (tight) full rate stage 2 footpath mix	2,248.95
EFT86442	07/11/2013	AL CURNOW HYDRAULICS	Fault find slew problem on Kevrek crane as required	409.30
EFT86443	07/11/2013	BRONWYN CUTLER	EAP COUNSELLING	330.00
EFT86444	07/11/2013	D & K ENGINEERING	FABRICATE SPANNER	220.00
EFT86445	07/11/2013	DE JONGE MECHANICAL REPAIRS	VEHICLE SERVICING	338.00
EFT86446	07/11/2013	DENMARK BASKETBALL ASSOCIATION	KIDSPORT VOUCHERS	370.00
EFT86447	07/11/2013	DOG ROCK MOTEL	ACCOMODATION FOR STAFF MEMBER	569.65
EFT86448	07/11/2013	DORALANE PASTRIES	CATERING	60.00
EFT86449	07/11/2013	DYNAMIC TECH PTY LTD	REFUND FOR AN OCCUPANCY PERMIT THAT WAS NOT REQUIRED	310.50
EFT86450	07/11/2013	EBSCO PUBLISHING	READERS DIGEST - LARGE PRINT FOR EASIER READING - 12 ISSUES PER YR	124.34
EFT86451	07/11/2013	EDEN GATE ESTATE	VISITORS CENTRE MERCHANDISE	138.00
EFT86452	07/11/2013	EDUCATIONAL EXPERIENCE PTY LTD	DAY CARE MATERIALS	272.03
EFT86453	07/11/2013	SIMON EDWARDS	AIR BP CALL OUTS	41.68
EFT86454	07/11/2013	ELLEKER GENERAL STORE	FUEL PURCHASES	421.45
EFT86455	07/11/2013	ALBANY ENGINEERING COMPANY	Replace broken shaft in Freeroll axle as required	3,130.31
EFT86456	07/11/2013	EMMA EVANS	REIMBURSEMENTS LG COASTAL MANAGEMENT TOUR MANDURAH & BUSSELTON	49.80
EFT86457	07/11/2013	TAMMIE FLOWER	FITNESS INSTRUCTION	540.00
EFT86458	07/11/2013	FORREST & FORREST GAMES	Soil Drainage and Soil Profile Design	1,204.53
EFT86459	07/11/2013	FUELS WEST PETROLEUM	LITRES DIESEL FUEL	11,045.65
EFT86460	07/11/2013	GALLERY 500	Reframe 2013 Laugh chalk drawing for art auction	100.00
EFT86461	07/11/2013	GLASS & GLAZING ALBANY	REPLACE CAFE FOYER WINDOW	324.50
EFT86462	07/11/2013	GRACE REMOVALS GROUP	REMOVAL FEE ARTWORK - ALBANY ART PRIZE	2,077.00
EFT86463	07/11/2013	GREAT SOUTHERN GROUP TRAINING	CASUAL STAFF APPRENTICES FEES	5,075.41
EFT86464	07/11/2013	GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	PRESENTATION ON 16 AND 23 AUGUST 2013	70.50

REPORT ITEM CSF 044 REFERS

EFT86465	07/11/2013	GREEN SKILLS INC	CASUAL STAFF - CITY OF ALBANY ROADS AND RESERVES	9,914.30
EFT86466	07/11/2013	GREAT SOUTHERN PEST & WEED CONTROL	REMOVE SWARM OF BEES FROM SEAT IN VICTORIA SQUARE GARDENS	110.00
EFT86467	07/11/2013	GREAT SOUTHERN SAND AND LANDSCAPING SUPPLIES	Hire of truck and front end loader to spread soil	1,000.00
EFT86468	07/11/2013	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING SUPPLIES	148.50
EFT86469	07/11/2013	GREEN MAN MEDIA PRODUCTIONS	ALAC TVC - NOVEMBER	495.00
EFT86470	07/11/2013	GREAT SOUTHERN TOURISM EVENTS	FINANCIAL ASSISTANT GRANT - TASTE GREAT SOUTHERN 2014	5,500.00
EFT86471	07/11/2013	STEPHEN GRIMMER	REIMBURSEMENTS SHIRE OF ESPERANCE DISCUSSIONS IP&R	137.91
EFT86472	07/11/2013	HARLEY GLOBAL	Survey gravel pit at South Coast Highway (Pascoe)	3,129.50
EFT86473	07/11/2013	HARVEY NORMAN ELECTRICAL ALBANY	TOSHIA SD DVD PLAYER+USB	48.00
EFT86474	07/11/2013	HAVOC BUILDERS PTY LTD	Being for the removal and replacement of asbestos fence	2,187.15
EFT86475	07/11/2013	HELEN LEEDER-CARLSON	PAINTING CLASSES WITH HELEN	480.00
EFT86476	07/11/2013	HOPETOON MOTEL AND CHALET VILLAGE	REFUND OF RACKING FEES - PAID TWICE	155.00
EFT86477	07/11/2013	H AND H ARCHITECTS	Consultant Services - Albany Airport Terminal Security Upgrade Stage 2	4,125.00
EFT86478	07/11/2013	ICKY FINKS WAREHOUSE SALES	Various canvasses	111.10
EFT86479	07/11/2013	STATEWIDE RACKING & STORAGE SOLUTIONS	LONG HOBI BOX, SMALL HOBI BOX & 150MM SLOTWALL HOOKS	49.52
EFT86480	07/11/2013	ALBANY MAPPING AND SURVEYING SERVICES	PROVISION OF FEATURE SURVEY	2,810.50
EFT86481	07/11/2013	JIMS TEST AND TAG	EMERGENCY EXIT LIGHT * EXIT LIIGHT GLOBE	709.74
EFT86482	07/11/2013	JUST A CALL DELIVERIES	INTERNAL MAIL DELIVERIES FOR OCTOBER	1,142.24
EFT86483	07/11/2013	KANDOO WINDSCREENS	WINDSCREEN REPAIRS	330.00
EFT86484	07/11/2013	KMART ALBANY	CLIPPER CRAFT SUPPLIES AND STORAGE	68.00
EFT86485	07/11/2013	KNOTTS GROUP PTY LTD	PLUMBING REPAIRS/MAINTENANCE	807.79
EFT86486	07/11/2013	THE LAKE HOUSE DENMARK	VISITORS CENTRE MERCHANDISE	145.50
EFT86487	07/11/2013	LAND LINE ENTERPRISES PTY LTD	Supply excavator,bobcat,truck and labour	10,266.00
EFT86488	07/11/2013	CARLY LANE	ALBANY ART PRIZE JUDGE - TRAVEL EXPENSES - TAXI REIMBURSEMENTS	203.35
EFT86489	07/11/2013	LATRO LAWYERS	PROFESSIONAL FEES - NEGOTIATION FOR PURCHASE OF LAND	1,300.75
EFT86490	07/11/2013	LEASE CHOICE	MONTHLY LEASE PHOTOCOPIERS	1,246.83
EFT86491	07/11/2013	CALTEX ENERGY WA	FUEL PURCHASES - OCTBER 2013	10,949.31
EFT86492	07/11/2013	MARIO LIONETTI	GROCERIES FOR DAY CARE CENTRE	211.73
EFT86493	07/11/2013	LOADTEK AUST	HYDRAULIC PARTS & SERVICES	232.01
EFT86494	07/11/2013	LOCKEEZ LUNCHBAR	CATERING	623.50
EFT86495	07/11/2013	LORLAINE DISTRIBUTORS PTY LTD	CLEANING SUPPLIES	364.80
EFT86496	07/11/2013	LOWER KING LIQUOR & GENERAL STORE	FUEL PURCHASES	156.66
EFT86497	07/11/2013	ALBANY CITY MOTORS	Clutch kit to suit Isuzu truck.	643.29
EFT86498	07/11/2013	MAP CREATIVE	VISITORS CENTRE MERCHANDISE	386.98
EFT86499	07/11/2013	PAUL MAYNARD & ASSOCIATES	VISITORS CENTRE MERCHANDISE	162.00
EFT86500	07/11/2013	ANTHONY MCEWAN	BIODIVERSITY CONFERENCE JOONDALUP	237.94
EFT86501	07/11/2013	MC LEVITZKE	VISITORS CENTRE MERCHANDISE	365.00
EFT86502	07/11/2013	JAMES MCLEAN - SCULPTURAL TIMBER CREATIONS	SUPPLY AND FIRT 12 CUSTOM BUILT ART DISPLAY PANELS TO SUIT GALLERY WINDOW SPACES AT VAC	3,234.00
EFT86503	07/11/2013	WESTERN AUSTRALIAN RANGERS ASSOCIATION INC	EMBROIDERED CAPS FOR RANGERS	54.95
EFT86504	07/11/2013	MOIR & CO PTY LTD	RUBBISH REMOVAL FROM CAPE RICHE - OCTOBER 2013	770.00
EFT86506	07/11/2013	CORDION PTY LTD T/AS NOVUS BUNBURY	Windscreen for 9017A Toyota Camry Atara SX	330.00
EFT86507	07/11/2013	OMNITECH PLAYGROUNDS	Infant Seats/S Hooks/Freight	1,590.71
EFT86508	07/11/2013	OPUS INTERNATIONAL CONSULTANTS LTD	Design of Frenchman Bay Road - Princess Avenue Intersection Upgrade	11,018.15
EFT86509	07/11/2013	ORIGIN ENERGY	GAS USAGE CHARGES ALAC	4,646.55

REPORT ITEM CSF 044 REFERS

EFT86510	07/11/2013	PENNANT HOUSE	AUSTRALIAN NATION FLAG, ABORIGINAL FLAG & CITY OF ALBANY FLAG	687.50
EFT86511	07/11/2013	PENROSE PROFESSIONAL LAWN CARE	MOWING AND EDGING OF GROUNDS AT VAC	264.00
EFT86512	07/11/2013	AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LIMITED	LICENCE FEES - LIBRARY	363.85
EFT86513	07/11/2013	PETER GRAHAM AND COMPANY LTD	Nozzle kit	31.69
EFT86514	07/11/2013	KRISTIE PORTER	FITNESS INSTRUCTION	450.00
EFT86515	07/11/2013	REECE PTY LTD	50 METERS OF 150mm MEGAFLOW.	339.76
EFT86516	07/11/2013	ALEASHA FAYE REMAJ	Rates Refund	1,279.57
EFT86517	07/11/2013	REPLICA MEDALS	FORTS MERCHANDISE	456.02
EFT86518	07/11/2013	REXEL AUSTRALIA	ASSORTED LIGHT GLOBES	414.23
EFT86519	07/11/2013	SALMON BUCKETS AND ATTACHMENTS	PURCHASE OF PARTS TO REPAIR P214 EXCAVATOR	613.53
EFT86520	07/11/2013	UNITED TOOLS ALBANY	Being for the repair of a Metabo cordless drill	218.83
EFT86521	07/11/2013	SENIOR CITIZENS CENTRE OF MEALS ON WHEELS (ALBANY) INCORPORATED	Hall hire for 29 Oct 2013	175.00
EFT86522	07/11/2013	SKILL HIRE WA PTY LTD	CASUAL STAFF/APPRENTICE FEES	5,947.06
EFT86523	07/11/2013	SOUTHERN ELECTRICS	REPAIRS TO CHLORINE DOSING SYSTEM	2,539.82
EFT86524	07/11/2013	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	525.79
EFT86525	07/11/2013	SOUTHWAY DISTRIBUTORS PTY LTD	CATERING GOODS - ALAC	1,998.16
EFT86526	07/11/2013	SOUTHCOAST SECURITY SERVICE	Security - ANZAC Briefing	148.50
EFT86527	07/11/2013	STAR SALES AND SERVICE	KAWASAKI KBH35B BRUSHCUTTERS	6,921.90
EFT86528	07/11/2013	JANINE STANTON	REIMBURSEMENTS FOR CUPS FOR CLIPPER EVENT	79.80
EFT86529	07/11/2013	SUNNY SIGN COMPANY	SIGNAGE	1,170.95
EFT86530	07/11/2013	ALBANY LOCK SERVICE	Purchase 3 replacement keys for ALAC cupboards	73.70
EFT86531	07/11/2013	SUTTON'S CARPET CLEANING	CALL OUT TO INSPECT WATER DAMAGE TO CARPETS	1,485.00
EFT86532	07/11/2013	SYNERGY	ELECTRICITY SUPPLIES FOR 52 BARKER ROAD	534.05
EFT86533	07/11/2013	T & C SUPPLIES	Bags QUICK SET CEMENT	1,332.09
EFT86534	07/11/2013	T-QUIP	V BELT SUPPLIES	105.00
EFT86535	07/11/2013	TME TOWN PLANNING MANAGEMENT ENGINEERING PTY LTD	DESIGN OF NORTH ROAD DRAINAGE - WEST OF CAMPBELL ROAD	11,374.00
EFT86536	07/11/2013	THE TOFFEE FACTORY	VISITORS CENTRE MERCHANDISE	340.03
EFT86537	07/11/2013	TRAILBLAZERS	Purchase 10 Thermal Tops for Swim School/UNIFORMS	1,008.65
EFT86538	07/11/2013	TRAFFIC FORCE	Hours Hire of Traffic Control	7,766.73
EFT86539	07/11/2013	THE TROPHY SHOP	Plaques for sponsors	98.80
EFT86540	07/11/2013	TRU-BLU GROUP PTY LTD	Days hire of three ton excavator	1,535.91
EFT86541	07/11/2013	ALBANY TYREPOWER	Supply and fit retread truck tyre to semi trailer.	1,460.30
EFT86542	07/11/2013	VANCOUVER WASTE SERVICES (ARMOGEDIN PTY LTD)	GREEN WASTE SERVICES	58.25
EFT86543	07/11/2013	WA NATURALLY PUBLICATIONS	VISITORS CENTRE MERCHANDISE	236.40
EFT86544	07/11/2013	WATKINS CONTRACTORS	Supply & delivery of mulch	2,805.00
EFT86545	07/11/2013	WAUTERS ENTERPRISES PTY LTD	REFUND FOR INSPECTION FEE & BSL	220.50
EFT86546	07/11/2013	ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING	523.38
EFT86547	07/11/2013	WESTRAC EQUIPMENT PTY LTD	VEHICLE PARTS	50.85
EFT86548	07/11/2013	WHITFIELD ESTATE & PICNIC IN THE PADDOCK	VISITORS CENTRE MERCHANDISE	36.85
EFT86549	07/11/2013	THE WINDOW WASHER MAN	WINDOW CLEANING - VAC	50.00
EFT86550	07/11/2013	WIRTGEN AUSTRALIA PTY LTD	4 x Filters to suit Hamm roller.	438.24
EFT86551	07/11/2013	WREN OIL	WASTE DISPOSAL - FILTER DRUM - 205 LITRE DRUM	121.00
EFT86552	07/11/2013	ZIPFORM	CITY OF ALBANY 2ND INSTALMENT NOTICES 2013/14	4,354.92

REPORT ITEM CSF 044 REFERS

EFT86553	07/11/2013	BT SUPER FOR LIFE	Superannuation contributions	310.29
EFT86554	07/11/2013	ASGARD	SGC	143.56
EFT86555	12/11/2013	NOVUS AUTOGLASS REPAIRS & REPLACEMENTS	Supply and fit windscreen for Toyota 9002A	471.80
EFT86556	14/11/2013	3D CATERING	CATERING SUPPLIES	360.00
EFT86557	14/11/2013	14 PEELS PLACE	CATERING SUPPLIES	120.00
EFT86558	14/11/2013	ACADEMY PUBLISHING LTD PARTNERSHIP	FLINDERS PARK / MT LOCKTYER SCHOOLS - SCHOOLBOOK SPONSORSHIP	412.50
EFT86559	14/11/2013	AD CONTRACTORS PTY LTD	Hours hire of D8 dozer	23,083.60
EFT86560	14/11/2013	ADVERTISER PRINT	STAFF BUSINESS CARDS	65.00
EFT86561	14/11/2013	AGCRETE ALBANY	LOWER BARNESBY DRIVE UPGRADE WALGA CONTRACT	36,307.77
EFT86562	14/11/2013	ALBANY INDUSTRIAL SERVICES PTY LTD	HOURS SEMI TIPPER HIRE	4,306.50
EFT86563	14/11/2013	ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	265.92
EFT86564	14/11/2013	ALBANY STATIONERS	STATIONERY SUPPLIES	139.80
EFT86565	14/11/2013	ALBANY RETRAVISION	DYSON DC59 ANIMAL HANDSTICK	539.00
EFT86566	14/11/2013	ALBANY GATEWAY.COM.AU	RENEWAL FOR 12 MONTHS ADVERTISING ON ALBANY GATEWAY	455.00
EFT86567	14/11/2013	TRICOAST CIVIL	Survey of the WWII heritage fence located at the Forts. 90 posts	4,950.00
EFT86568	14/11/2013	ALBANY SURF LIFE SAVING CLUB	KIDSPORT VOUCHERS	1,200.00
EFT86569	14/11/2013	ALBANY SCREENPRINTERS & SIGNWRITERS	T-Shirts with 'Happy Lungs' artwork	862.00
EFT86570	14/11/2013	ALBANY MOBILE WELDING	Construct steel mounting bracket for leachate level float indicator	650.10
EFT86571	14/11/2013	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	STATIONERY SUPPLIES	1,499.55
EFT86572	14/11/2013	ALBANY CAR RENTALS	Hire of a 7 seater VEHICLE	137.50
EFT86573	14/11/2013	ALBANY MILK DISTRIBUTORS	MILK DELIVERIES - REFUSE SITE	100.35
EFT86574	14/11/2013	ALBANY LEGAL PTY LTD	PROFESSIONAL FEES - ALBANY HISTORICAL SOCIETY STORAGE	919.60
EFT86575	14/11/2013	ALKOOMI WINES PTY LTD	ALCOHOL PURCHASES	676.50
EFT86576	14/11/2013	AMPAC DEBT RECOVERY (WA) PTY LTD	AMPAC RATES RECOVERY FEES	3,916.56
EFT86577	14/11/2013	PAPERBARK MERCHANTS	Gift vouchers for long service staff	172.00
EFT86578	14/11/2013	ARDESS NURSERY	NURSERY SUPPLIES	222.45
EFT86579	14/11/2013	ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	4,671.36
EFT86580	14/11/2013	AUDIOCOM ALBANY	iPad Screen Protectors twin Pack	225.00
EFT86581	14/11/2013	AUSTRALIA POST	POSTAGE/AGENCY FEES	3,288.95
EFT86582	14/11/2013	AUTO BODY SURGEON	BMW X5 REGO A146	220.00
EFT86583	14/11/2013	BAREFOOT CLOTHING MANUFACTURERS	PROTECTIVE WORKWEAR	336.40
EFT86584	14/11/2013	BARKERS TRENCHING SERVICES	Slashing around Hatelie lakes	300.00
EFT86585	14/11/2013	BENNETTS BATTERIES	BATTERY PURCHASES	88.00
EFT86586	14/11/2013	BERTOLA HIRE SERVICES ALBANY PTY LTD	DAYS HIRE OF 1.5T MINNI DIGGER	257.40
EFT86587	14/11/2013	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	165.00
EFT86588	14/11/2013	BLACKWOODS	SAFETY WORKWEAR	47.91
EFT86589	14/11/2013	BLACK DUCK GOURMET PANTRY	VISITORS CENTRE MERCHANDISE	150.70
EFT86590	14/11/2013	BLOOMIN FLOWERS	1 X WREATH FOR REMEMBRANCE DAY 11/11/13	55.00
EFT86591	14/11/2013	BOC GASES AUSTRALIA LIMITED	CONTAINER SERVICE RENTAL	166.87
EFT86592	14/11/2013	BRANDNET PTY LTD T/AS MILITARY SHOP	FORTS MERCHANDISE	1,663.54
EFT86593	14/11/2013	BROWNES FOODS OPERATIONS PTY LTD	CATERING SUPPLIES	100.73
EFT86594	14/11/2013	CARDNO BSD PTY LTD	Provide consultant services to Hanrahan Leachate project Stage 3	11,825.00
EFT86595	14/11/2013	BUILDING AND CONSTRUCTION IND TRAINING FUND	BCITF LEVY FOR THE MONTH OF OCTOBER 2013 LESS COLLECTION COMMISSION	14,633.16
EFT86596	14/11/2013	BUNNINGS GROUP LIMITED	10 x Umbrellas	249.37
EFT86597	14/11/2013	KAITLIN BUNN	SLWA SEMINAR - DAILY MEAL EXPENSES	125.21

REPORT ITEM CSF 044 REFERS

EFT86598	14/11/2013	STACEY CARTER	FITNESS INSTRUCTION	225.00
EFT86599	14/11/2013	NGAIRE CHRISTINE CARTER	Rates Refund	224.57
EFT86600	14/11/2013	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE - VAC	8,456.53
EFT86601	14/11/2013	BIS CLEANAWAY LIMITED	VERGESIDE RUBBISH COLLECTION	219,713.30
EFT86602	14/11/2013	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	809.82
EFT86603	14/11/2013	CONTRACT CONTROL INTERNATIONAL PTY LTD	ADVANCED CONTRACT ADMINISTRATION	1,705.00
EFT86604	14/11/2013	MIKE COPPINS	DAILY MEAL EXPENSES	28.00
EFT86605	14/11/2013	CROKER LACEY GRAPHIC DESIGN	GREAT SOUTHERN ART AWARD LOGO	704.00
EFT86606	14/11/2013	DE JONGE MECHANICAL REPAIRS	VEHICLE SERVICING	861.00
EFT86607	14/11/2013	LANDGATE - PROPERTY & VALUATIONS	GROSS RENTAL VALUATIONS CHARGABLE	4,709.48
EFT86608	14/11/2013	DEPARTMENT OF ENVIRONMENT REGULATION	Annual Licence fee for Bakers Junction Waste Management Facility	4,957.11
EFT86609	14/11/2013	JANINE DETERMES	FITNESS INSTRUCTION	360.00
EFT86610	14/11/2013	G & M DETERGENTS & HYGIENE SERVICES ALBANY	HYGIENE SERVICES OCTOBER 2013	1,530.61
EFT86611	14/11/2013	EASIFLEET MANAGEMENT	MOTOR VEHICLE LEASE RENTAL/ESP BUREAU FEE/BUREAU FEE REBATE	7,644.09
EFT86612	14/11/2013	EYERITE SIGNS	ASSORTED SIGNAGE	518.10
EFT86613	14/11/2013	WA FIRE APPLIANCES	FIRE EQUIPMENT	3,270.41
EFT86614	14/11/2013	THE FIXUPPERY	WINDOW CLEANING NORTH ROAD - OCTOBER 2013	670.01
EFT86615	14/11/2013	TAMMIE FLOWER	FITNESS INSTRUCTION	225.00
EFT86616	14/11/2013	FORREST & FORREST GAMES	SITE VISIT AND SOIL INSPECTION FOR NEW SPORT GROUND	1,230.53
EFT86617	14/11/2013	FOXTEL MANAGEMENT PTY LTD	FOXTEL BUSINESS PREMIUM PACKAGE MONTHLY SUBSCRIPTION FEE	350.00
EFT86618	14/11/2013	FUELS WEST PETROLEUM	LITRES DIESEL FUEL	16,886.59
EFT86619	14/11/2013	GREAT SOUTHERN GROUP TRAINING	CASUAL STAFF APPRENTICES FEES	2,215.41
EFT86620	14/11/2013	SOUTHERN SHARPENING SERVICES	KNIFE SHARPENING SERVICES	40.00
EFT86621	14/11/2013	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	1,369.90
EFT86622	14/11/2013	GREAT SOUTHERN DISCOVERY	GREAT SOUTHERN DISCOVERY KAYAK AND FISHING TOUR FOR CLIPPER MEDIA FAMILY	60.00
EFT86623	14/11/2013	GT BEARING AND ENGINEERING SUPPLIES	VARIOUS VEHICLE PARTS	722.00
EFT86624	14/11/2013	PROTECTOR FIRE SERVICES PTY LTD	External Cabinet (Metal B/Glass Large)	236.50
EFT86625	14/11/2013	HARVEY NORMAN ELECTRICAL ALBANY	STEAM IRON	49.95
EFT86626	14/11/2013	HELEN LEEDER-CARLSON	ART EXHIBITIONS SETTING UP	360.00
EFT86627	14/11/2013	HELEN MUNT	Provision of Heritage Advisory Services in Albany	2,454.12
EFT86628	14/11/2013	RATTEN & SLATER MACHINERY	VEHICLE PARTS	737.03
EFT86629	14/11/2013	H AND H ARCHITECTS	Consultant Services - Albany Airport Terminal Security Upgrade Stage 2 as set out in request for tender C13008. Price Schedule 1 from Initiation of design through to Issue for Construction documentation inclusive.	7,260.00
EFT86630	14/11/2013	ICKY FINKS WAREHOUSE SALES	Art Spectrum Oil Paints and artists turpentine	172.19
EFT86631	14/11/2013	INSTITUTE OF PUBLIC WORKS ENGINEERING AUST LTD	2013 FLEET MANAGEMENT CERTIFICATE BASED ONLINE TRAINING	880.00
EFT86632	14/11/2013	TOLL IPEC	FREIGHT CHARGES	427.10
EFT86633	14/11/2013	IPWEA NATIONAL	Fleet Management Certificate	440.00
EFT86634	14/11/2013	JACK THE CHIPPER	CHIPPING AT SPECTRUM THEATRE/MULCHING AT GREEN WASTE SITE	1,249.50
EFT86635	14/11/2013	JIMS TEST AND TAG	ELECTRICAL TESTING AND TAGGING	1,631.28
EFT86636	14/11/2013	JJ'S HIAB SERVICES	Being for the pick up and delivery of two bus shelters from Kosters steel to the Mercer Road Depot	88.00
EFT86637	14/11/2013	JOCK'S COMMERCIAL MOWING	Contract Mowing Round OCTOBER	6,545.00
EFT86638	14/11/2013	KNOTTS GROUP PTY LTD	PLUMBING REPAIRS/MAINTENANCE	5,170.27

REPORT ITEM CSF 044 REFERS

EFT86639	14/11/2013	LATRO LAWYERS	PROFESSIONAL FEES - SETTING ASIDE DEFAULT JUDGEMENT	1,973.40
EFT86640	14/11/2013	LEASE CHOICE	MONTHLY LEASE PHOTOCOPIERS RICOH MP	1,246.83
EFT86641	14/11/2013	THE LEISURE INSTITUTE OF WA (AQUATICS) INC	LIWA AQUATICS REGISTRATION - ALAC DUTY MANAGERS	660.00
EFT86642	14/11/2013	LINCOLN AND GOMM WINES	VISITORS CENTRE MERCHANDISE	50.00
EFT86643	14/11/2013	MARIO LIONETTI	GROCERIES	196.76
EFT86644	14/11/2013	LITTLE GROVE GENERAL STORE	FUEL SUPPLIES STH COAST B/BRIG	761.88
EFT86645	14/11/2013	LOCKEEZ LUNCHBAR	CATERING	108.00
EFT86646	14/11/2013	THE LOLLY BUS	Christmas Festival and Pageant - Lollies for Santa and Mrs Claus	1,193.34
EFT86647	14/11/2013	LORLAINE DISTRIBUTORS PTY LTD	CLEANING SUPPLIES	362.90
EFT86648	14/11/2013	ALBANY CITY MOTORS	P3193 COLORADO LX (4x4) RG SPACE C/CHAS DIESEL TURBO F/INJ 5 SP AUTOMATIC WITH TOW BAR IN WHITE VEHICLE CODE 82H53-274 , Trade in for P3183 Ranger 2 x 4 A A56756 & Registration and Licensing of new vehicle for six months	20,553.83
EFT86649	14/11/2013	MATTHEW WEARNE	SLWA SEMINAR - DAILY MEAL EXPENSES REIMBURSEMENT	144.09
EFT86650	14/11/2013	MICROELECTRONIC TECHNICAL SERVICES	Tate radio change over	559.00
EFT86651	14/11/2013	MIETTA SKINNER	REFUND FOR JART TERM 4 WORKSHOP FOR RORI AND ZOE	230.00
EFT86652	14/11/2013	MINNA ENGINEERING	SUPPLY ROLLED PIPE FRAMES, WELDED AND POWDERCOATED IN HATHORN GREEN WITH SIGNAGE PANELS POWDERCOATED WHITE	3,080.00
EFT86653	14/11/2013	MOUNT ROMANCE AUSTRALIA PTY LTD	VISITORS CENTRE MERCHANDISE	244.20
EFT86654	14/11/2013	NATALIE RADIVOJEVIC	ASSIST WITH TOWN HALL INSTALLATION OF ARTWORKS FOR PERMANENT IMPRESSIONS	70.38
EFT86655	14/11/2013	ALBANY NEWS DELIVERY - ALAC	NEWSPAPER DELIVERIES	221.52
EFT86656	14/11/2013	PAUL NIELSEN	PLWA MEETINGS IN PERTH	60.10
EFT86657	14/11/2013	OCS SERVICES PTY LTD	CLEANING SERVICES AT THE DEPOT FOR THE MONTH ENDING OCTOBER 2013	3,451.15
EFT86658	14/11/2013	OFFICEWORKS SUPERSTORES PTY LTD	IPad Accessories for waste administration	299.26
EFT86659	14/11/2013	OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	1,632.54
EFT86660	14/11/2013	ORIGIN ENERGY	GAS DELIVERY - ALAC	4,742.30
EFT86661	14/11/2013	PAULS PET FOOD	BAGS OF DOG FOOD	63.00
EFT86662	14/11/2013	PAUL SHAW	METRO LIBRARY VISITS / SLWA CONFERENCE / SLWA TOUR / SLWA EXCHANGE - ACCOMODATION & DAILY MEAL EXPENSES REIMBURSEMENT	194.87
EFT86663	14/11/2013	PERTH PRESSURE JETTING SERVICES TRUST	Pressure jetting and educting	29,606.00
EFT86664	14/11/2013	KRISTIE PORTER	FITNESS INSTRUCTION	360.00
EFT86665	14/11/2013	PRINCESS ROYAL SAILING CLUB	Princess Royal Sailing Club dinner	680.00
EFT86666	14/11/2013	PROMOTIONS ONLY	LANYARDS FOR CLIPPER EVENT - BALANCE OF PAYMENT DUE TO INCORRECT ONES BEING ISSUED AND RETURNED FOR REPLACEMENT	165.00
EFT86667	14/11/2013	REEVES AND COMPANY BUTCHERS PTY LTD	Round Steaks, Sausages & KG Onions	274.00
EFT86668	14/11/2013	W P REID	The Installation of Limestone Walls for Mills Park Playgrounds	6,312.80
EFT86669	14/11/2013	REXEL AUSTRALIA	SUPPLY OF LIGHT BULBS	139.77
EFT86670	14/11/2013	ALBANY ALUMINIUM FABRICATION	REPAIR TO POOL FILTER SCREEN	65.00
EFT86671	14/11/2013	ROYAL LIFE SAVING SOCIETY AUSTRALIA	LIFEGUARD REQUALIFICATION	120.00
EFT86672	14/11/2013	ROYAL PLUMBING (WA)	PLUMBING REPAIRS/MAINTENANCE	286.00
EFT86673	14/11/2013	UNITED TOOLS ALBANY	HARDWARE/TOOL SUPPLIES	26.01
EFT86674	14/11/2013	SCHWEPPE'S AUSTRALIA	SOFT DRINK SUPPLIES	338.37
EFT86675	14/11/2013	SHARKS BASKETBALL CLUB INC	KIDSPORT REGISTRATIONS	160.00
EFT86676	14/11/2013	SHERIDANS FOR BADGES	BADGES	235.92
EFT86677	14/11/2013	SIMONE KLOSE	REIMBURSEMENT OF CLIPPER SUPPLIES	72.20

REPORT ITEM CSF 044 REFERS

EFT86678	14/11/2013	SIRENCO	LEX18B-RB-DV X 2	598.40
EFT86679	14/11/2013	SKILL HIRE WA PTY LTD	CASUAL STAFF/APPRENTICE FEES	4,620.73
EFT86680	14/11/2013	VIRGIN AUSTRALIA REGIONAL AIRLINES	AIRFARES FOR STAFF/COUNCILLORS/MAYOR	378.53
EFT86681	14/11/2013	SMITHS ALUMINIUM & 4WD CENTRE	Irvin bull bar with front long load rack for P3183 - 9107A	4,862.00
EFT86682	14/11/2013	SOUTHERN ELECTRICS	SERVICE LAP LEISURE CL2 BOOST PUMP	528.46
EFT86683	14/11/2013	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	425.50
EFT86684	14/11/2013	SOUTHWAY DISTRIBUTORS PTY LTD	CATERING GOODS	1,354.78
EFT86685	14/11/2013	SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES - OCTOBER 2013	13,168.03
EFT86686	14/11/2013	SPORTSWORLD OF WA	SPORT STORE PURCHASES	4,698.10
EFT86687	14/11/2013	SPOTLIGHT	Rolls of calico 90cm x 10m	149.95
EFT86688	14/11/2013	STAR SALES AND SERVICE	HARDWARE/VEHICLE PARTS	35.00
EFT86689	14/11/2013	STATEWIDE BEARINGS	TRAILER JOCKEY WHEEL HANDLE	11.55
EFT86690	14/11/2013	BLUESCOPE DISTRIBUTION PTY LTD	ROUND BAR	14.64
EFT86691	14/11/2013	STIRLING FREIGHT EXPRESS	FREIGHT CHARGES	368.33
EFT86692	14/11/2013	ST JOHN AMBULANCE AUSTRALIA	FIRST AID COURSE	330.00
EFT86693	14/11/2013	STREAMLINE BRICK PAVING	Supply and construct limestone wall	2,035.00
EFT86694	14/11/2013	SUNNY SIGN COMPANY	ASSORTED SIGNAGE	214.50
EFT86695	14/11/2013	ALBANY IGA	GROCERIES	204.71
EFT86696	14/11/2013	SUPALUX	Line marking paint (White) 2 x 20Ltrs	308.00
EFT86697	14/11/2013	CARL ROBERT SWARBRICK	Rates Refund	558.64
EFT86698	14/11/2013	SYNERGY	ELECTRICITY SUPPLIES - GROUP ELECTRICITY	10,837.95
EFT86699	14/11/2013	T4 TECHNOLOGY	iPad Case & Bag	90.00
EFT86700	14/11/2013	T & C SUPPLIES	BAGS QUICK SET CEMENT/TOOLS/HARDWARE SUPPLIES	1,184.05
EFT86701	14/11/2013	JTAGZ PTY LTD	DOG TAGS EXPIRY 2016	660.00
EFT86702	14/11/2013	THINKWATER ALBANY	Supply a complete bare shaft ASP 510 for Hanrahan Rd Waste facility Leachate pond	2,134.00
EFT86703	14/11/2013	TRAILBLAZERS	PROTECTIVE WORKWEAR	626.20
EFT86704	14/11/2013	TRAFFIC FORCE	Hours Hire of Traffic Control	14,352.05
EFT86705	14/11/2013	TRUCKLINE	VEHICLE PARTS	7.37
EFT86706	14/11/2013	TRU-BLU GROUP PTY LTD	DAYS HIRE OF 3 TONNE MINNI DIGGER	404.11
EFT86707	14/11/2013	VANCOUVER WASTE SERVICES (ARMOGEDIN PTY LTD)	COARSE SAND	752.75
EFT86708	14/11/2013	WADE MARSHALL PLUMBING	LOCATE LEAK PUBLIC TOILETS AT ALBANY SURF LIFE SAVING CLUB	264.00
EFT86709	14/11/2013	JULIA WARREN	FITNESS INSTRUCTION	135.00
EFT86710	14/11/2013	WAYNE TURPIN PANEL BEATERS	VEHICLE REPAIRS/MAINTENANCE	300.00
EFT86711	14/11/2013	ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING	1,564.30
EFT86712	14/11/2013	WELLSTEAD AUTOMOTIVE SERVICES	GNOWELLEN FIRE TRUCK REPAIRS/MAINTENANCE	823.30
EFT86713	14/11/2013	WEST AUSTRALIAN NEWSPAPERS LIMITED	ADVERTISING	212.30
EFT86714	14/11/2013	WESTSHRED DOCUMENT DISPOSAL	DOCUMENT DISPOSAL	313.50
EFT86715	14/11/2013	WIGNALLS WINES	WINE PURCHASES	383.13
EFT86716	14/11/2013	WOODLANDS DISTRIBUTORS AND AGENCIES	ROLLS OF BLACK OXO DEGRADABLE DOG WASTE BAGS	442.20
EFT86717	14/11/2013	YAKKA PTY LTD (KINGGEE WORKWEAR GROUP)	PROTECTIVE WORKWEAR	89.93
EFT86718	14/11/2013	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	62.76

TOTAL

\$ 4,734,846.69

Summary - List of Accounts for Payment

Trust	\$	-
Credit Cards	\$	11,962.23
Payroll	\$	1,561,670.06
Cheques	\$	80,127.63
Electronic Funds Transfer	\$	4,734,846.69
Total	\$	6,388,606.61

City of Albany
MONTHLY FINANCIAL REPORT
For the Period Ended 31st October 2013

TABLE OF CONTENTS

Statement of Financial Activity

Note 1 Net Current Funding Position

Note 2 Cash and Investments

Note 2A Graphical Representation - Cash and Investments

Note 3 Major Variances

Note 4 Receivables

Note 5 Capital Acquisitions

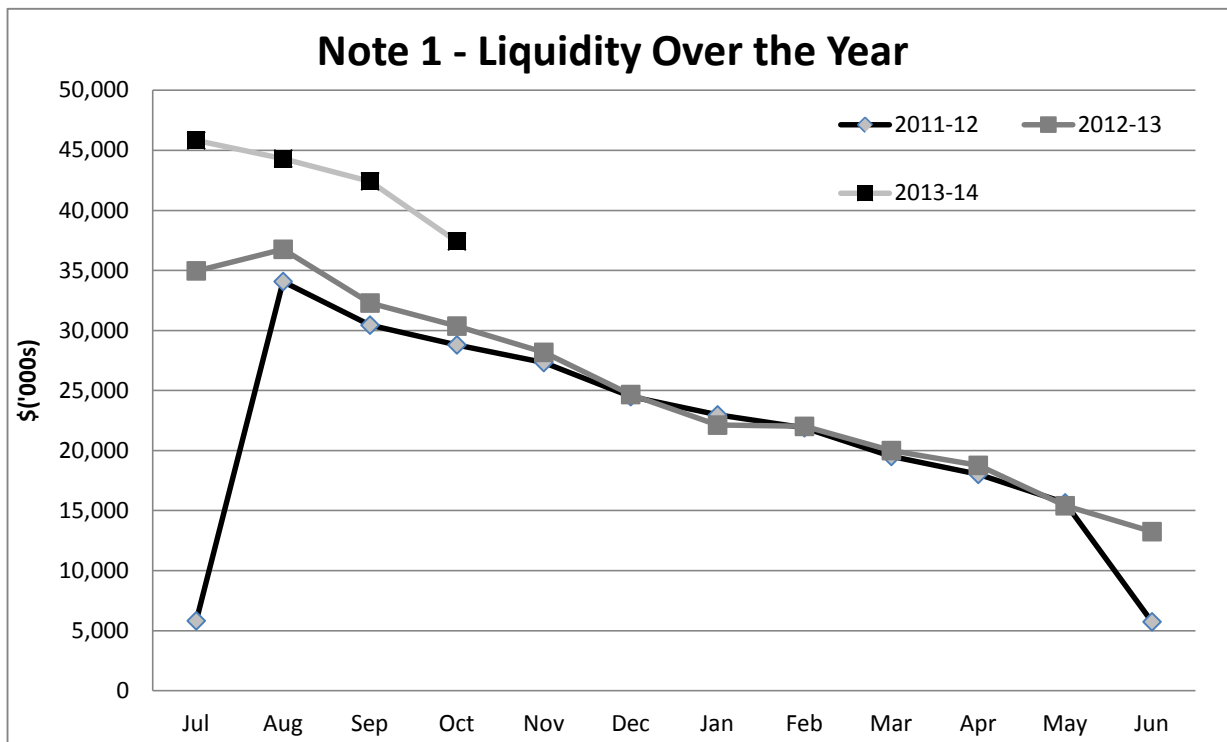
City of Albany
STATEMENT OF FINANCIAL ACTIVITY
(Nature or Type)
For the Period Ended 31st October 2013

Note	Original Annual Budget	Revised Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(b)	
Operating Revenues							
		\$	\$	\$	\$	%	
	2,760,891	2,763,772	1,122,497	1,084,692	(37,805)	(3.5%)	
	489,278	489,278	219,781	337,170	117,389	34.8%	▲
	129,637	129,637	43,212	0	(43,212)	(100.0%)	▲
	15,082,994	15,082,994	8,565,130	8,805,828	240,698	2.7%	▲
	1,086,913	1,086,913	340,743	417,834	77,091	18.5%	▲
	404,000	404,000	78,934	60,589	(18,345)	(30.3%)	
Total (Excluding Rates)	19,953,713	19,956,594	10,370,297	10,706,112	335,815		
Operating Expense							
	(21,172,866)	(21,263,144)	(7,408,884)	(7,074,939)	333,945	4.7%	▼
	(16,376,331)	(16,387,483)	(3,922,517)	(4,022,923)	(100,406)	(2.5%)	▲
	(1,750,726)	(1,750,726)	(442,486)	(466,844)	(24,358)	(5.2%)	
	(12,271,352)	(12,271,352)	(4,090,452)	(4,090,452)	0	0.0%	
	(859,851)	(859,851)	(6,309)	(24,632)	(18,323)	(74.4%)	
	(745,892)	(745,892)	(745,892)	(735,567)	10,325	1.4%	
	(313,743)	(313,743)	(104,580)	0	104,580	100.0%	▼
	(2,218,485)	(2,310,781)	(1,139,308)	(1,123,454)	15,854	1.4%	
	788,531	788,531	262,808	240,916	(21,892)	9.1%	
Total	(54,920,715)	(55,114,441)	(17,597,620)	(17,297,895)	321,617		
Contributions for the Development of Assets							
	23,720,796	21,906,086	3,643,813	991,060	(2,652,753)	(267.7%)	▼
	1,000,000	1,000,000	0	0	0		
Net Operating Result Excluding Rates	(10,246,206)	(12,251,761)	(3,583,510)	(5,600,722)	(1,995,320)		
Funding Balance Adjustment							
	12,271,352	12,271,352	4,090,452	4,090,452	0	0.0%	
	184,106	184,106	61,368	0	(61,368)	(100.0%)	▼
Funds Demanded From Operations	2,209,252	203,697	568,310	(1,510,270)	(2,056,688)		
Capital Revenues							
	1,924,400	2,259,572	569,804	401,569	(168,235)	(41.9%)	▼
Total	1,924,400	2,259,572	569,804	401,569	(168,235)		
Acquisition of Fixed Assets							
	(8,025,741)	(8,029,214)	(123,500)	(615,019)	(491,519)	(79.9%)	▲
	(3,654,492)	(4,276,595)	(869,093)	(760,396)	108,697	14.3%	▼
	(842,314)	(842,314)	(272,476)	(59,593)	212,883	357.2%	▼
	(5,953,283)	(5,917,364)	(562,530)	(507,785)	54,745	10.8%	▼
	(26,542,942)	(26,757,373)	(2,666,386)	(1,645,752)	1,020,634	62.0%	▼
Total	(45,018,772)	(45,822,860)	(4,493,985)	(3,588,544)	905,441		
Financing/Borrowing							
	(2,615,254)	(2,615,254)	(117,323)	(41,730)	75,593	181.1%	▼
	2,127,000	2,127,000	0	0	0		
Total	(488,254)	(488,254)	(117,323)	(41,730)	75,593		
Demand for Resources	(41,373,374)	(43,847,845)	(3,473,194)	(4,738,975)	(1,243,890)		
Restricted Funding Movements							
	11,100,936	13,256,077	13,256,077	13,238,100	(17,977)	0.1%	
	(13,640,795)	(13,640,795)	0	0	0		
	15,090,919	15,332,359	0	0	0		
	28,961,011	28,961,011	28,781,011	28,916,976	135,965	0.5%	▲
Closing Funding Surplus(Deficit)	138,697	60,807	38,563,894	37,416,100	(1,125,902)		

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 31st October 2013

Note 1: NET CURRENT FUNDING POSITION

Positive=Surplus (Negative=Deficit)			
2013-14			
Note	This Period	Last Period	Same Period Last Year
	\$	\$	\$
Current Assets			
Cash Unrestricted	30,886,780	33,433,363	27,400,254
Cash Restricted	12,780,361	12,762,648	8,172,417
Receivable - Rates and Rubbish	10,863,606	12,605,390	10,388,174
Receivables - Other	1,405,128	1,884,035	2,074,042
Investment Land	967,500	967,500	1,312,138
Stock on Hand	806,969	663,715	491,222
	57,710,344	62,316,651	49,838,248
Less: Current Liabilities			
Payables	(6,016,641)	(5,587,991)	(4,268,788)
Accrued Expenses	(17,923)	(17,923)	0
Income in advance	(114,899)	(96,498)	(103,157)
Provisions	(2,934,688)	(3,001,248)	(2,705,473)
Retentions	(136,415)	(136,415)	(25,222)
	(9,220,566)	(8,840,075)	(7,102,639)
Add Back: Loans	2,573,141	2,597,541	747,371
Less: Cash Restricted	(12,679,319)	(12,679,319)	(9,051,127)
Restricted Other - Unspent Grants	0	0	(2,753,521)
Investment land	(967,500)	(967,500)	(1,312,138)
Net Current Funding Position	37,416,100	42,427,297	30,366,194



Comments - Net Current Funding Position

As more capital works projects commence in the coming months the Net Current Position will reduce and begin to track as per previous years

City of Albany
 NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st October 2013

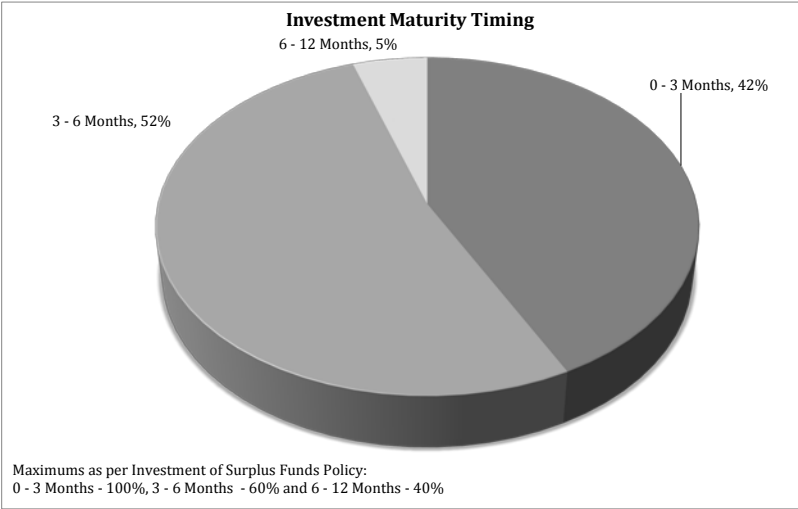
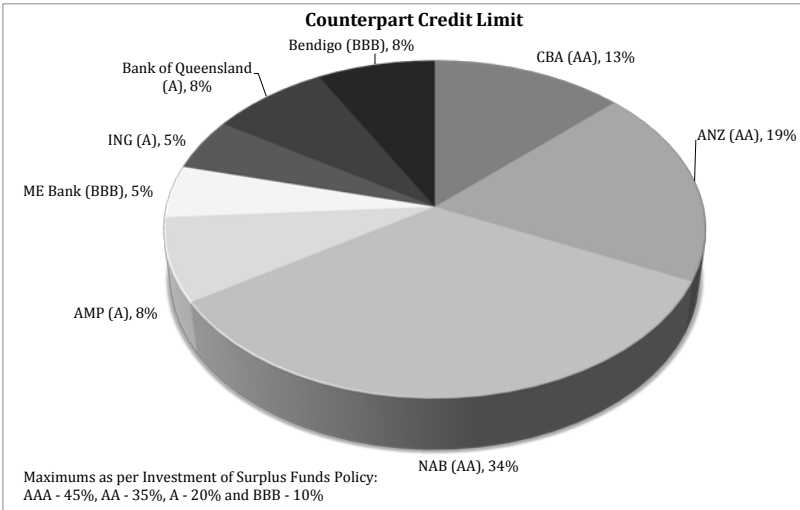
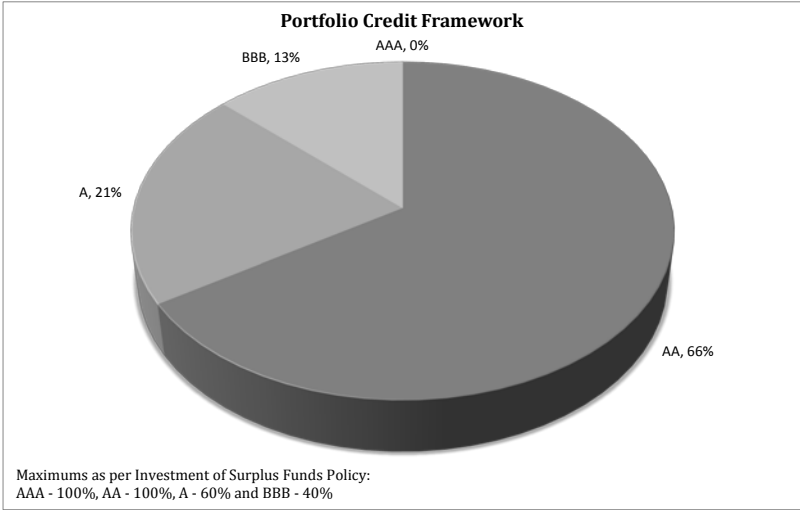
Note 2: CASH INVESTMENTS

Deposit Ref	Institution	Rating	Deposit Date	Term (Days)	Invested Interest rates	Amount Invested	Expected Interest	Amount Invested (Days)			Comparative rate		Budget v Actual				
								0 - 3 Months	3 - 6 Months	6 - 12 Months	Prior Month Interest Rate	Interest Rate at time of Report	Year to Date Budget	Year to Date Actual	Var.\$		
General Municipal																	
TD 33768604	CBA	AA	6/09/2013	60	3.49%	1,000,000	5,737	1,000,000			3.49%	3.49%					
TD 86804	CBA	AA	16/10/2013	30	3.48%	2,500,000	7,151	2,500,000			3.50%	3.48%					
TD 5478	NAB	AA	7/10/2013	90	3.75%	3,000,000	27,740	3,000,000			4.13%	3.75%					
Call 2031	NAB	AA	6/02/2013	30	2.43%	999,930	1,999	999,930			2.93%	2.43%					
TD 5779	NAB	AA	2/10/2013	120	3.76%	5,000,000	61,808		5,000,000		n/a	3.76%					
Call 6654	ANZ	AA	21/09/2012	30	3.09%	199,950	508	199,950			2.90%	3.09%					
TD 99468	ANZ	AA	2/10/2013	90	3.90%	4,000,000	38,466	4,000,000			n/a	3.90%					
TD 39584	ME Bank	BBB	20/08/2013	120	3.95%	2,000,000	25,973		2,000,000		3.95%	3.95%					
TD 332863	AMP	A	20/08/2013	180	4.10%	3,000,000	60,658		3,000,000		4.10%	4.10%					
TD 6781	Bendigo	BBB	2/10/2013	124	3.60%	3,000,000	36,690		3,000,000		n/a	3.60%					
TD BoQ	Bank of Queensland	A	2/10/2013	180	3.80%	3,000,000	56,219		3,000,000		n/a	3.80%					
					Subtotal	27,699,880	322,948	11,699,880	16,000,000	-				154,786	139,217	15,569	
Restricted																	
Call 4108	CBA	AA	20/07/2013	30	2.58%	1,500,000	3,185	1,500,000			2.50%	2.58%					
TD ING	ING	A	11/09/2013	210	3.75%	2,000,000	43,151			2,000,000	3.75%	3.75%					
TD 99656	ANZ	AA	3/10/2013	90	3.90%	3,000,000	28,849	3,000,000			3.80%	3.90%					
TD 3749	NAB	AA	2/10/2013	180	3.80%	4,000,000	74,959		4,000,000		n/a	3.80%					
					Subtotal	10,500,000	75,185	4,500,000	4,000,000	2,000,000				65,667	87,001	(21,334)	
Commercial Securities - CDOs																	
Corsair (Kakadu)	Corsair	CCC	21/12/2009		BBSW+1%	68,750	-			68,750	BBSW+1%	BBSW+1%					
					Subtotal	68,750	-			68,750							
					Total Funds Invested	38,268,630	398,133	16,199,880	20,000,000	2,068,750				220,453	226,218	(5,765)	

Comments/Notes - Cash Investments

City of Albany
 Monthly Investment Report
 For the Period Ended 31st October 2013

Note 2A: GRAPHICAL REPRESENTATION - CASH INVESTMENTS



City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st October 2013

Note 3: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
3.1 Operating Revenues		
<i>Grants & Subsidies</i>		
No material variance		
<i>Contributions, Donations & Reimbursements</i>		
No one significant item. Fuel tax credit receipt, sponsorship and insurance proceeds over budget YTD. Over the course of the year, anticipate this to equal out.	■	
<i>Profit on Asset Disposal</i>		
No material variance		
<i>Fees and Charges</i>		
2012/13 year end adjustments for income, with some prepaid income allocated to 2013/14, plus refuse charge income slightly over budget. Otherwise no real significant variance for particular business unit. Spread across a number of areas.	■	
<i>Interest Earnings</i>		
Interest earnings YTD above budget as cash on hand is at the highest point during the year. As the year progresses, and the cash is used up in the various major capital projects, interest earnings will decrease. Also dependent on interest rates on offer from various financial institutions.	■	
<i>Other Revenue</i>		
No material variance		
3.2 Operating Expense		
<i>Employee Costs</i>		
Under budget amount due to vacant positions, increase in budget to allow for possible EA increase - EA not yet formally in place, and under budget to date on training.	■	
<i>Materials and Contracts</i>		
No one significant issue. Primarily timing issue on receipt of regular contract invoices for items such as waste management, fuel and oil, and airport security screening.	■	
<i>Utilities Charges</i>		
No material variance		
<i>Depreciation (Non-Current Assets)</i>		
No material variance		
<i>Interest Expenses</i>		
No material variance		
<i>Insurance Expenses</i>		
No material variance		
<i>Loss on Asset Disposal</i>		
Accounting profit/loss yet to be calculated due to review of asset depreciation rates ongoing, following fair value adjustments made during the 12/13 year.	■	
<i>Other Expenditure</i>		
No material variance		
<i>Less Allocated to Infrastructure</i>		
No material variance		
3.3 Contributions for the Development of Assets		
<i>Grants & Subsidies</i>		
Timing issue, grants for Mt Clarence, Bridges and Roads to Recovery budgeted for October not yet received.	■	
<i>Contributions, Donations & Reimbursements</i>		
No material variance		
3.4 Funding Balance Adjustment		
<i>Add Back Depreciation</i>		
No material variance		
<i>Adjust (Profit)/Loss on Asset Disposal</i>		
Accounting profit/loss yet to be calculated due to review of asset depreciation rates ongoing, following fair value adjustments made during the 12/13 year.	■	

REPORT ITEM CSF045 REFERS

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 31st October 2013

Note 3: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
3.5 Capital Revenues		
<i>Proceeds from Disposal of Assets</i>		
Rollover of light fleet continues, with passenger vehicle changeover commencing shortly. Therefore, fewer vehicles traded in or sold at auction, and proceeds not received.	■	
3.6 Acquisition of Fixed Assets		
<i>Land and Buildings</i>		
As weather improves, more projects will begin, expect actual spend to increase over next 3 months.	■	
<i>Plant and Equipment</i>		
Timing issue of ute purchases. Budget allocated to September onwards. Some deliveries already taken.	■	
<i>Furniture and Equipment</i>		
Some budget allocated to July, minimal actual expense to date.	■	
<i>Infrastructure Assets - Roads</i>		
As weather improves, more projects will begin, expect actual spend to increase over next 3 months.	■	
<i>Infrastructure Assets - Other</i>		
As weather improves, more projects will begin, expect actual spend to increase over next 3 months.	■	
3.7 Financing/Borrowing		
<i>Debt Redemption</i>		
Timing issue with phasing of budget to actual debt repayments.	■	
<i>Loan Drawn Down</i>		
No material variance		
3.8 Restricted Funding Movements		
<i>Opening Funding Surplus(Deficit)</i>		
No material variance		
<i>Transfer to Reserves</i>		
No material variance		
<i>Transfer from Reserves</i>		
No material variance		
<i>Rate Revenue</i>		
Actual rates raised slightly above budget (under 1%). Budget amount is worked on 2012/13 Rate Book, whereas Actual Billings done on 2013/14 Rate Book after updates for change in property use, any valuation changes and other data changes.		■

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 31st October 2013

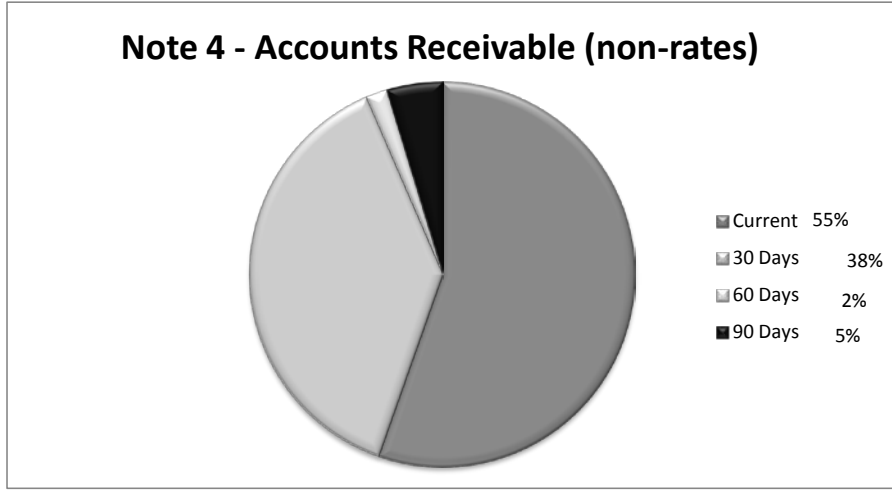
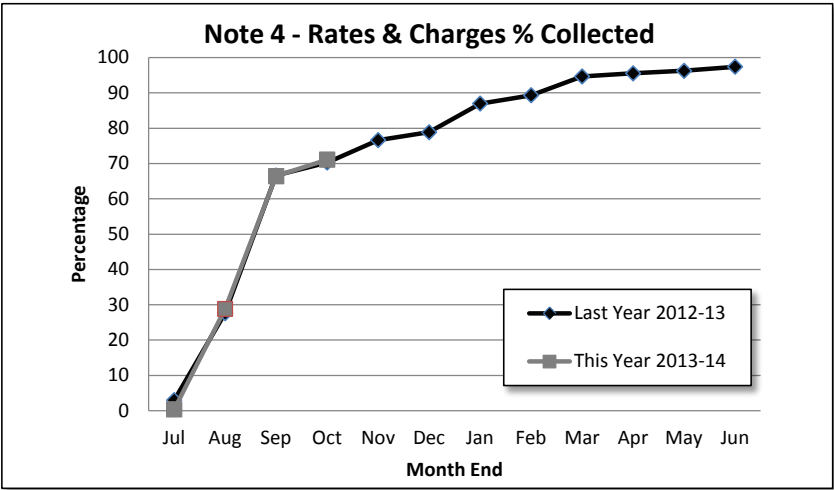
Note 4: RECEIVABLES

Receivables - Rates and Refuse

	Current 2013-14	Previous 2012-13	Total
	\$	\$	\$
Opening Arrears Previous Years		1,014,148	1,014,148
Rates Levied this year	28,916,976		28,916,976
Refuse Levied	5,043,688		5,043,688
ESL Levied	2,339,155		2,339,155
Other Charges Levied	278,037		278,037
<u>Less</u> Collections to date	(26,277,714)	(450,683)	(26,728,397)
Equals Current Outstanding	10,300,141	563,465	10,863,606
Total Rates & Charges Collectable			10,863,606
% Collected			71.10%

Receivables - General	Current	30 Days	60 Days	90 Days
	\$	\$	\$	\$
	554,851	382,446	18,277	46,292
Total Outstanding				1,001,867

Amounts shown above include GST (where applicable)



Comments/Notes - Receivables Rates and Rubbish

Comments/Notes - Receivables General

City of Albany
 NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st October 2013

Note 5: CAPITAL ACQUISITIONS

Contributions Information				Summary Acquisitions					
Grants	Reserves	Borrowing	Total		Original Budget	Current Budget	YTD Budget	Actual	Variance
\$	\$	\$	\$		\$			\$	\$
				Property, Plant & Equipment					
0	0	0	0	Land for Resale	0	0	0	0	0
412,000	590,000	0	1,002,000	Land and Buildings	8,025,741	8,029,214	123,500	615,019	414,917 ▲
0	0	0	0	Plant & Equipment	3,654,492	4,276,595	869,093	760,396	(108,697) ▼
178,946	0	0	0	Furniture & Equipment	842,314	842,314	272,476	59,593	(212,883) ▼
				Infrastructure					
2,500,000	0	0	2,500,000	Roadworks	5,953,283	5,917,364	562,530	507,785	(54,745) ▼
868,939	0	0	868,939	Drainage	2,467,890	2,575,473	87,100	32,259	(54,841) ▼
0	0	0	0	Bridges	3,393,000	3,393,000	0	0	0
0	0	0	0	Footpath & Cycleways	1,895,184	1,895,184	576,249	171,533	(404,716) ▼
81,726	9,721	0	91,447	Parks, Gardens & Reserves	6,628,137	6,737,729	1,670,370	1,367,399	(302,971) ▼
1,125,000	1,800,000	0	2,925,000	Airport	1,300,000	1,300,000	216,667	3,167	(214,114) ▼
0	1,260,557	0	1,260,557	Sanitation	1,260,557	1,257,978	0	25,337	25,337 ▲
9,388,749	80,634	0	452,390	Other Infrastructure	9,598,174	9,598,009	116,000	46,058	(69,942) ▼
14,555,360	3,740,912	0	9,100,333	Totals	45,018,772	45,822,860	4,493,985	3,588,544	(982,657)

Comments - Capital Acquisitions

City of Albany
MONTHLY FINANCIAL REPORT
For the Period Ended 30th November 2013

TABLE OF CONTENTS

Statement of Financial Activity	
Note 1	Net Current Funding Position
Note 2	Cash and Investments
Note 2A	Graphical Representation - Cash and Investments
Note 3	Major Variances
Note 4	Receivables
Note 5	Capital Acquisitions

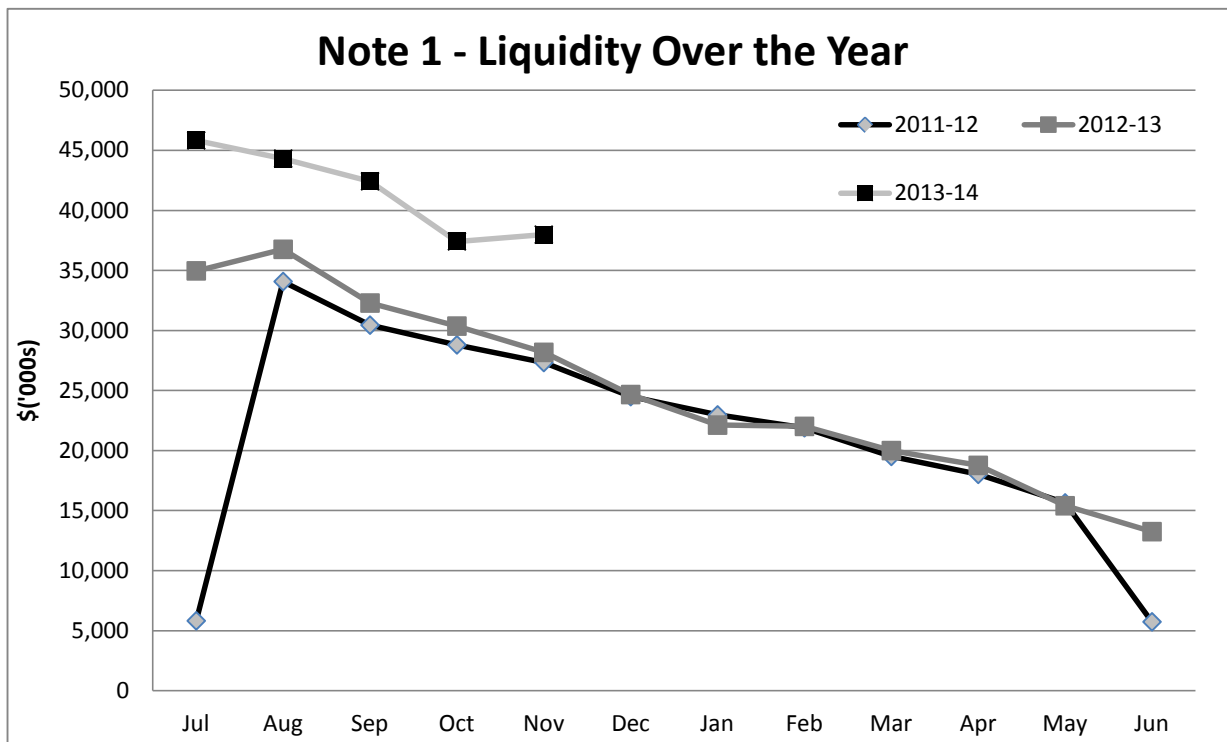
**City of Albany
STATEMENT OF FINANCIAL ACTIVITY
(Nature or Type)
For the Period Ended 30th November 2013**

Note	Original Annual Budget	Revised Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(b)	
Operating Revenues		\$	\$	\$	\$	%	
Grants & Subsidies	2,760,891	2,763,772	1,337,306	1,927,669	590,363	30.6%	▲
Contributions, Donations & Reimbursements	489,278	489,278	224,434	441,128	216,694	49.1%	▲
Profit on Asset Disposal	129,637	129,637	54,015	0	(54,015)	(100.0%)	▼
Fees and Charges	15,082,994	15,082,994	9,472,963	9,742,183	269,220	2.8%	▲
Interest Earnings	1,086,913	1,086,913	444,297	472,273	27,976	5.9%	
Other Revenue	404,000	404,000	118,368	87,237	(31,131)	(35.7%)	
Total (Excluding Rates)	19,953,713	19,956,594	11,651,383	12,670,491	1,019,108		
Operating Expense							
Employee Costs	(21,172,866)	(21,263,144)	(9,032,620)	(8,606,212)	426,408	5.0%	▼
Materials and Contracts	(16,376,331)	(16,387,483)	(5,511,644)	(5,373,056)	138,588	2.6%	▼
Utilities Charges	(1,750,726)	(1,750,726)	(584,795)	(557,532)	272,633	4.9%	
Depreciation (Non-Current Assets)	(12,271,352)	(12,271,352)	(5,113,065)	(5,113,065)	0	0.0%	
Interest Expenses	(859,851)	(859,851)	(36,492)	(22,563)	13,929	61.7%	
Insurance Expenses	(745,892)	(745,892)	(745,892)	(735,567)	10,325	1.4%	
Loss on Asset Disposal	(313,743)	(313,743)	(130,725)	0	130,725	100.0%	▼
Other Expenditure	(2,218,485)	(2,310,781)	(1,291,821)	(1,214,582)	77,239	6.4%	▼
Less Allocated to Infrastructure	788,531	788,531	328,510	352,589	24,079	(6.8%)	
Total	(54,920,715)	(55,114,441)	(22,118,544)	(21,269,988)	848,556		
Contributions for the Development of Assets							
Grants & Subsidies	23,720,796	21,906,086	6,119,394	3,408,206	(2,711,188)	(79.5%)	▼
Contributions, Donations & Reimbursements	1,000,000	1,000,000	0	0	0		
Net Operating Result Excluding Rates	(10,246,206)	(12,251,761)	(4,347,767)	(5,191,291)	(843,524)		
Funding Balance Adjustment							
Add Back Depreciation	12,271,352	12,271,352	5,113,065	5,113,065	0	0.0%	
Adjust (Profit)/Loss on Asset Disposal	184,106	184,106	76,710	0	(76,710)	(100.0%)	▼
Funds Demanded From Operations	2,209,252	203,697	842,008	(78,226)	(920,234)		
Capital Revenues							
Proceeds from Disposal of Assets	1,924,400	2,259,572	679,755	556,280	(123,475)	(22.2%)	▼
Total	1,924,400	2,259,572	679,755	556,280	(123,475)		
Acquisition of Fixed Assets							
Land and Buildings	(8,025,741)	(8,029,214)	(442,000)	(642,566)	(200,566)	(31.2%)	▲
Plant and Equipment	(3,654,492)	(4,276,595)	(1,228,242)	(1,023,654)	204,588	20.0%	▼
Furniture and Equipment	(842,314)	(842,314)	(337,095)	(61,606)	275,489	447.2%	▼
Infrastructure Assets - Roads	(5,953,283)	(5,917,364)	(1,347,635)	(758,117)	589,518	77.8%	▼
Infrastructure Assets - Other	(26,542,942)	(26,757,373)	(4,694,311)	(2,165,001)	2,529,310	116.8%	▼
Total	(45,018,772)	(45,822,860)	(8,049,283)	(4,650,944)	3,398,339		
Financing/Borrowing							
Debt Redemption	(2,615,254)	(2,615,254)	(148,356)	(41,730)	106,626	255.5%	▼
Loan Drawn Down	2,127,000	2,127,000	0	0	0		
Self-Supporting Loan Principal	0	0	0	6,547	6,547	100.0%	
Total	(488,254)	(488,254)	(148,356)	(35,183)	113,173		
Demand for Resources	(41,373,374)	(43,847,845)	(6,675,876)	(4,208,074)	2,467,802		
Restricted Funding Movements							
Opening Funding Surplus(Deficit)	11,100,936	13,256,077	13,256,077	13,238,100	(17,977)	0.1%	
Transfer to Reserves	(13,640,795)	(13,640,795)	0	0	0		
Transfer from Reserves	15,090,919	15,332,359	0	0	0		
Rate Revenue	28,961,011	28,961,011	28,803,511	28,953,226	149,715	0.5%	▲
Closing Funding Surplus(Deficit)	138,697	60,807	35,383,712	37,983,252	2,599,540		

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th November 2013

Note 1: NET CURRENT FUNDING POSITION

				Positive=Surplus (Negative=Deficit)		
				2013-14		
	Note	This Period	Last Period	Same Period Last Year		
		\$	\$	\$		
Current Assets						
Cash Unrestricted		33,640,206	30,886,780	25,981,938		
Cash Restricted		12,787,232	12,780,361	8,191,219		
Receivable - Rates and Rubbish		8,797,158	10,863,606	8,182,021		
Receivables - Other		1,506,665	1,405,128	2,232,244		
Investment Land		890,136	967,500	1,312,138		
Stock on Hand		827,132	806,969	502,191		
		58,448,530	57,710,344	46,401,751		
Less: Current Liabilities						
Payables		(6,212,005)	(6,016,641)	(2,835,751)		
Accrued Expenses		(15,854)	(17,923)	0		
Income in advance		(129,607)	(114,899)	(120,260)		
Provisions		(2,975,081)	(2,934,688)	(2,855,432)		
Retentions		(136,415)	(136,415)	(25,222)		
		(9,468,963)	(9,220,566)	(5,836,665)		
Add Back: Loans		2,573,141	2,573,141	711,047		
Less: Cash Restricted		(12,679,319)	(12,679,319)	(9,069,929)		
Restricted Other - Unspent Grants		0	0	(2,753,521)		
Investment land		(890,136)	(967,500)	(1,312,138)		
Net Current Funding Position		37,983,252	37,416,101	28,140,545		

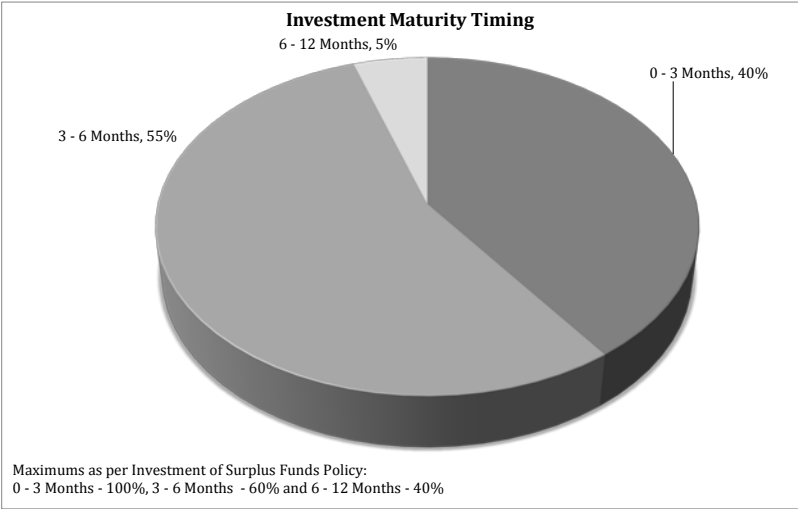
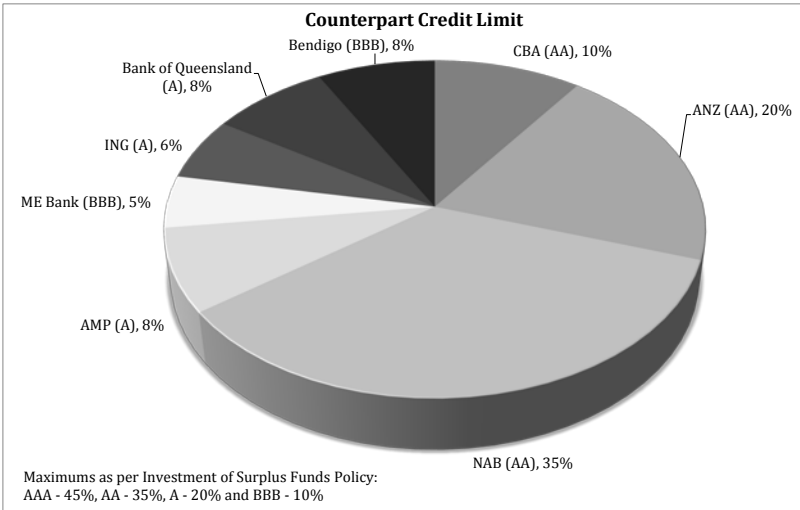
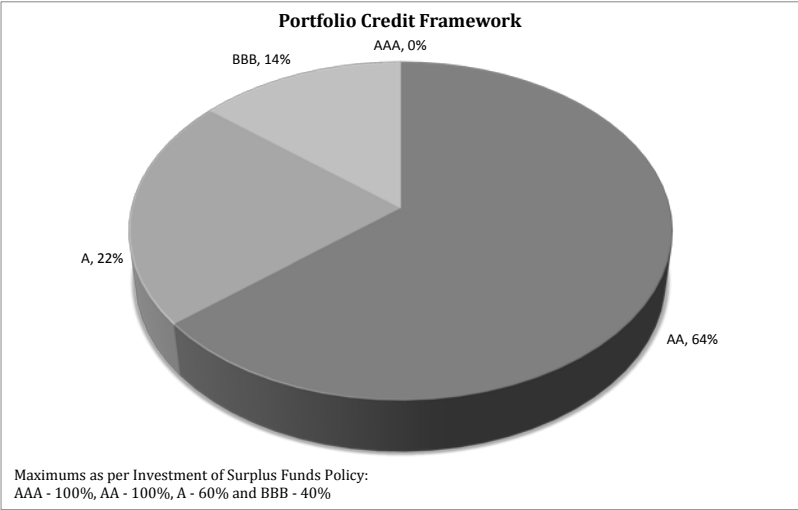


Comments - Net Current Funding Position

Net Current Funding Position increased during November due to the receipt of \$2.4 million for the Mt Clarence Project. These funds are committed and will be spent as the project continues.

City of Albany
 Monthly Investment Report
 For the Period Ended 30th November 2013

Note 2A: GRAPHICAL REPRESENTATION - CASH INVESTMENTS



City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th November 2013

Note 3: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
3.1 Operating Revenues		
Grants & Subsidies		
Actual receipt of general purpose and local road grants, budgeted later in the year. Expected to be to budget over the course of the year.	■	
Contributions, Donations & Reimbursements		
Receipt of smaller contributions and reimbursements, none significant, over year-to-date budget. Expect to be close to budget over the year.	■	
Profit on Asset Disposal		
Accounting profit/loss yet to be calculated due to review of asset depreciation rates ongoing, following fair value adjustments made during the 12/13 year.	■	
Fees and Charges		
Planning, refuse collection, building and airport land fee income all higher over year to date budget. Expect over the year to be to budget.	■	
Interest Earnings		
No material variance		
Other Revenue		
No material variance		
3.2 Operating Expense		
Employee Costs		
Under budget amount due to vacant positions, increase in budget to allow for possible EA increase - EA not yet formally in place, and under budget to date on training. However, employee budget will continue to be closely monitored, as this variance represents approximately half of a regular pay run.	■	
Materials and Contracts		
No one significant issue. Primarily timing issue on receipt of regular contract invoices for items such waste management, fuel and oil, and airport security screening.	■	
Utilities Charges		
No material variance		
Depreciation (Non-Current Assets)		
No material variance		
Interest Expenses		
No material variance		
Insurance Expenses		
No material variance		
Loss on Asset Disposal		
Accounting profit/loss yet to be calculated due to review of asset depreciation rates ongoing, following fair value adjustments made during the 12/13 year.	■	
Other Expenditure		
Phasing/timing of community/event funding program. Portion of budget had been allocated in the year to date budget, no disbursements made to date. Anticipate this to be to budget over the year.	■	
Less Allocated to Infrastructure		
No material variance		
3.3 Contributions for the Development of Assets		
Grants & Subsidies		
Large portion of Centennial Park funding was budgeted for receipt by November, to date actual receipt below budget. Budgeted for receipt of bridge funding, not yet received. Budgeted for receipt of ALAC solar grant, not yet received.	■	
Contributions, Donations & Reimbursements		
No material variance		
3.4 Funding Balance Adjustment		
Add Back Depreciation		
No material variance		
Adjust (Profit)/Loss on Asset Disposal		
Accounting profit/loss yet to be calculated due to review of asset depreciation rates ongoing, following fair value adjustments made during the 12/13 year.	■	

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th November 2013

Note 3: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
3.5 Capital Revenues		
<i>Proceeds from Disposal of Assets</i>		
Rollover of light fleet continues, with passenger vehicle changeover commencing shortly. Therefore, fewer vehicles traded in or sold at auction, and proceeds not received.	■	
3.6 Acquisition of Fixed Assets		
<i>Land and Buildings</i>		
Over year to date budget with settlement of the purchase of Hanrahan Rd waste site. This has been budgeted for, timing issue only.	■	
<i>Plant and Equipment</i>		
Timing issue of ute purchases. Budget allocated to September onwards. Some deliveries already taken.	■	
<i>Furniture and Equipment</i>		
Some budget allocated to July, minimal actual expense to date.	■	
<i>Infrastructure Assets - Roads</i>		
As weather improves, more projects will begin, expect actual spend to increase over next 3 months.	■	
<i>Infrastructure Assets - Other</i>		
As weather improves, more projects will begin, expect actual spend to increase over next 3 months.	■	
3.7 Financing/Borrowing		
<i>Debt Redemption</i>		
Timing issue with phasing of budget to actual debt repayments.	■	
<i>Loan Drawn Down</i>		
No material variance		
3.8 Restricted Funding Movements		
<i>Opening Funding Surplus(Deficit)</i>		
No material variance		
<i>Transfer to Reserves</i>		
No material variance		
<i>Transfer from Reserves</i>		
No material variance		
<i>Rate Revenue</i>		
Actual rates raised slightly above budget (under 1%). Budget amount is worked on 2012/13 Rate Book, whereas Actual Billings done on 2013/14 Rate Book after updates for change in property use, any valuation changes and other data changes.		■

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th November 2013

Note 4: RECEIVABLES

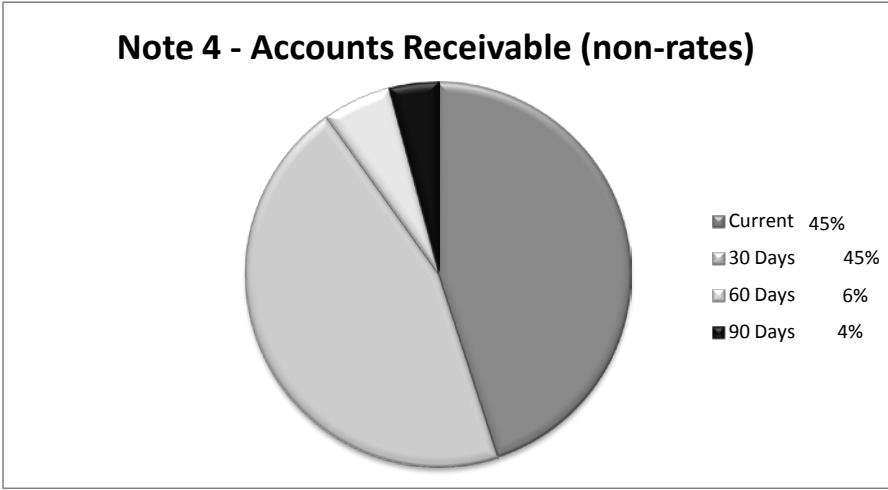
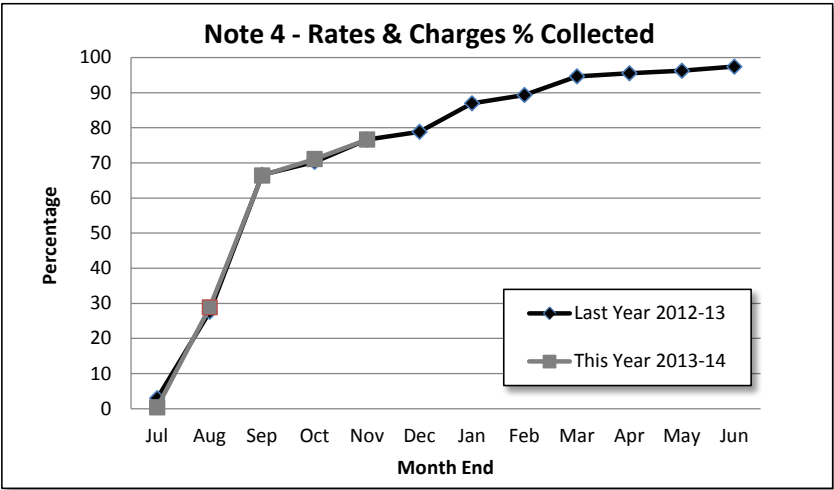
Receivables - Rates and Refuse

	Current 2013-14	Previous 2012-13	Total
	\$	\$	\$
Opening Arrears Previous Years		1,014,148	1,014,148
Rates Levied this year	28,953,226		28,953,226
Refuse Levied	5,048,133		5,048,133
ESL Levied	2,339,155		2,339,155
Other Charges Levied	343,197		343,197
<u>Less</u> Collections to date	(28,362,078)	(538,623)	(28,900,701)
Equals Current Outstanding	8,321,633	475,525	8,797,158
Total Rates & Charges Collectable			8,797,158
% Collected			76.66%

Receivables - General

	Current	30 Days	60 Days	90 Days
	\$	\$	\$	\$
	548,719	550,019	70,354	49,872
Total Outstanding				<u>1,218,965</u>

Amounts shown above include GST (where applicable)



Comments/Notes - Receivables Rates and Rubbish

Comments/Notes - Receivables General

City of Albany
 NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 30th November 2013

Note 5: CAPITAL ACQUISITIONS

Contributions Information				Summary Acquisitions						
Grants	Reserves	Borrowing	Total		Original Budget	Current Budget	YTD Budget	Actual	Variance	
\$	\$	\$	\$		\$			\$	\$	
				Property, Plant & Equipment						
412,000	590,000	0	1,002,000	Land and Buildings	8,025,741	8,029,214	442,000	642,566	109,201	▲
0	0	0	0	Plant & Equipment	3,654,492	4,276,595	1,228,242	1,023,654	(204,588)	▼
178,946	0	0	0	Furniture & Equipment	842,314	842,314	337,095	61,606	(275,489)	▼
				Infrastructure						
2,500,000	0	0	2,500,000	Roadworks	5,953,283	5,917,364	1,347,635	758,117	(589,518)	▼
868,939	0	0	868,939	Drainage	2,467,890	2,575,473	104,600	77,530	(27,070)	▼
0	0	0	0	Bridges	3,393,000	3,393,000	0	0	0	
0	0	0	0	Footpath & Cycleways	1,895,184	1,895,184	691,399	328,318	(363,081)	▼
81,726	9,721	0	91,447	Parks, Gardens & Reserves	6,628,137	6,737,729	2,223,479	1,658,864	(564,615)	▼
1,125,000	1,800,000	0	2,925,000	Airport	1,300,000	1,300,000	433,334	6,668	(427,279)	▼
0	1,260,557	0	1,260,557	Sanitation	1,260,557	1,257,978	0	41,711	41,711	▲
9,388,749	80,634	0	452,390	Other Infrastructure	9,598,174	9,598,009	1,241,499	51,910	(1,189,589)	▼
14,555,360	3,740,912	0	9,100,333	Totals	45,018,772	45,822,860	8,049,283	4,650,944	(3,490,318)	

Comments - Capital Acquisitions

EXECUTED DOCUMENT REGISTER

Document Number	FILE NUMBER	DATE SENT RECD	Ext Cor Name	Description	Respond By Date
EDR1333165	PS.TEN.9	15/10/2013	VORSTER	EXECUTED DOCUMENT. ITEM: 1.1 OCM: 18.09.12 RE: PANEL OF SUPPLIERS - CONCRETE DRAINAGE PRODUCTS PARTIES: CITY OF ALBANY AND BALL BODY BUILDERS, PN & ER NEWMAN, HUMES-WEMBLEY CEMENT, ICON - SEPTECH SIGNED BY A/CEO G ADAMS 4 COPIES	22/10/2013
EDR1333340	GS.APC.27	25/10/2013	RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: FINAL REPORT FOR 4WD TRACK STABILISATION LOWLANDS RESERVE PARTIES: CITY OF ALBANY AND STATE NRM OFFICE SIGNED BY A/CEO G ADAMS 1 COPY	01/11/2013
EDR1333341	GS.APC.89	25/10/2013	RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: GRANT AGREEMENT FOR BETTY'S BEACH RESERVE: BOULDER HILL TRACK REMEDIATION PARTIES: CITY OF ALBANY AND SOUTHCOAST NRM SIGNED BY A/CEO G ADAMS 2 COPIES	01/11/2013
EDR1333417	GS.APC.49	31/10/2013	RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: GRANT AGREEMENT FOR END OF TRIP FACILITY AT GREAT SOUTHERN GRAMMAR IN CONJUNCTION WITH NANARUP ROAD FORESHORE PATH (UNDER CONNECTING SCHOOLS GRANTS) PARTIES: CITY OF ALBANY AND DEPARTMENT OF TRANSPORT SIGNED BY A/CEO G ADAMS 2 COPIES	07/11/2013
EDR1333429	GS.APC.95	31/10/2013	FLETT	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: CCTV FOR YORK STREET APPLICATION PARTIES: CITY OF ALBANY AND WA POLICE STRATEGIC CRIME PREVENTION SIGNED BY A/CEO G ADAMS 1 COPY	07/11/2013
EDR1333452	GS.APC.60	04/11/2013	RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: ACQUITTAL FOR PRE-MASTER PLAN REPORT FOR ALBANY WATERFRONT CULTURAL AND HERITAGE AND TOURISM PRECINCT PARTIES: CITY OF ALBANY AND GREAT SOUTHERN DEVELOPMENT COMMISSION SIGNED BY A/CEO G ADAMS 1 COPY	11/11/2013
EDR1333454	PR.TEN.8 PR.TEN.8	04/11/2013	MONCK	EXECUTED DOCUMENT. ITEM: 1.1 OCM: 18.09.12 RE: AWARD OF C13019 FIRE ACCESS TRACK RENEWAL WORKS PARTIES: CITY OF ALBANY AND SOUTHERN MULCHING SERVICES SIGNED BY A/CEO G ADAMS 1 COPY	11/11/2013

REPORT ITEM CSF047 REFERS

EDR1333456	GS.APC.88	04/11/2013 RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: GRANT APPLICATION FOR PEAK ANNUAL FUNDING 2014-2016 THROUGH COUNTRY ARTS WA AT DEPT OF CULTURE AND THE ARTS, PROJECT: THE VANCOUVER ARTS CENTRE ANNUAL PROGRAM PARTIES: CITY OF ALBANY SIGNED BY A/CEO G ADAMS 1 COPY	11/11/2013
EDR1333540	RD.TEN.10	06/11/2013 GREENWOOD	EXECUTED DOCUMENT. ITEM: WS013 OCM: 29.10.13 RE: PURCHASE ORDER FOR WILLYUNG ROAD (SLK0.02 -1.76) WIDENING AND RECONSTRUCTION CONTRACT C13016 PARTIES: CITY OF ALBANY AND A.D CONTRACTORS PTY LTD SIGNED BY CEO G FOSTER 1 COPY	13/11/2013
EDR1333541	RD.TEN.11 DES258	06/11/2013 GREENWOOD	EXECUTED DOCUMENT. ITEM: WS014 OCM: 29.10.13 RE: PURCHASE ORDER FOR PFEIFFER ROAD (SLK20.02 -22.44) WIDENING AND RECONSTRUCTION CONTRACT C13017 PARTIES: CITY OF ALBANY AND ARMOGEDIN PTY LTD (TRADING AS GREAT SOUTHERN SANDS) SIGNED BY CEO G FOSTER 1 COPY	13/11/2013
EDR1333543	RD.DEC.17 RD.TEN.8	06/11/2013 GREENWOOD	EXECUTED DOCUMENT. ITEM: WS015 OCM: 29.10.13 RE: PURCHASE ORDER FOR MILLBROOK ROAD (SLK5.30 -6.90) WIDENING AND RECONSTRUCTION CONTRACT C13015 PARTIES: CITY OF ALBANY AND PALMER EARTHMOVING AUSTRALIA PTY LTD SIGNED BY CEO G FOSTER 1 COPY	13/11/2013
EDR1333544	RD.PLA.2 A1462	06/11/2013 VELD	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 19.03.13 RE: CONSENT TO TAKING BY AGREEMENT: LOT 6321 PFEIFFER ROAD, MANY PEAKS SHOWN ON DEPOSITED PLAN 166244 ON CERTIFICATE OF TITLE VOLUME 1431 FOLIO 246 PARTIES: CITY OF ALBANY AND MICHAEL DAVID DOVEY AND ROBYN GAYE DOVEY SIGNED BY CEO G FOSTER 1 COPY	13/11/2013
EDR1333545	A171601	06/11/2013 MCMURTRIE	EXECUTED DOCUMENT. ITEM: 2.8 OCM: 18.06.13 RE: MODIFICATION OF SUBDIVISION GUIDE PLANS LOCAL PLANNING POLICY FOR SPECIAL RESIDENTIAL ZONE AREA NO.11 (LOT 106 WILLYUNG ROAD, WILLYUNG) PARTIES: CITY OF ALBANY AND G J AND CL BERGERSEN SIGNED BY CEO G FOSTER 1 COPY	13/11/2013

REPORT ITEM CSF047 REFERS

EDR1333576	GS.APC.50	07/11/2013 RICHTER	EXECUTED DOCUMENT. ITEM: 4.6 OCM: 15.03.11 RE: FUNDING AGREEMENT FOR PROJECT 'EMU POINT TO MIDDLETON BEACH COASTAL ADAPTION AND PROTECTION STRATEGY THROUGH THE COASTAL PROTECTION GRANTS 2013/14 PARTIES: CITY OF ALBANY AND DEPARTMENT OF TRANSPORT SIGNED BY CEO G FOSTER 1 COPY	14/11/2013
EDR1333639	FM.INV.2	11/11/2013 OLDE	EXECUTED DOCUMENT. ITEM:N/A OCM: N/A RE: SETTLE AGREEMENT - AUTHORITY TO INSTITUTE LEGAL PROCEEDINGS AND REPRESENTING THE CITY IN COURT PARTIES: CITY OF ALBANY AND LEHMAN BROTHERS AUSTRALIA LIMITED (IN LIQUIDATION). STEPHEN JAMES PARBERY AND MARCUS WILLIAMS AYRES, AS THE JOINT AND SEVERAL LIQUIDATORS OF LEHMAN BROTHERS AUSTRALIA LIMITED SIGNED BY CEO G FOSTER 2 COPIES	18/11/2013
EDR1333662	GS.APC.79	12/11/2013 RICHTER	EXECUTED DOCUMENT. ITEM:4.6 OCM: 15.3.11 RE:APPLICATION TO LOTTERYWEST FOR ANZAC COMMEMORATIVE EVENTS PARTIES: CITY OF ALBANY SIGNED BY CEO G FOSTER 1 COPY	19/11/2013
EDR1333663	DES244	12/11/2013 HAIGH	EXECUTED DOCUMENT. ITEM:N/A OCM: N/A RE: INVOICE FROM GREAT SOUTHERN SANDS FOR PARTIAL PAYMENT PARTIES: CITY OF ALBANY AND GREAT SOUTHERN SANDS SIGNED BY CEO G FOSTER 1 COPY	19/11/2013
EDR1333685	D8 PS.ACQ.1	13/11/2013 TURNER	EXECUTED DOCUMENT. ITEM:4.6 OCM: 15.3.11 RE:NEW HEAVY TANKER 2.4B FOR THE HIGHWAY BUSH FIRE BRIGADE IN ACCORDANCE WITH THE RISK TO RESOURCE PLAN PARTIES: CITY OF ALBANY AND DEPARTMENT OF FIRE AND EMERGENCY SERVICE SIGNFD BY CFO G FOSTER 1 COPY	20/11/2013
EDR1333698	GS.APC.56	14/11/2013 RICHTER	EXECUTED DOCUMENT. ITEM:4.6 OCM: 15.3.11 RE:ACCEPTANCE OF OFFER FOR HEALTHWAY SPONSORSHIP FOR NEW YEARS EVE AND AUSTRALIA DAY FAMILY FESTIVAL PARTIES: CITY OF ALBANY AND HEALTHWAY SIGNED BY CEO G FOSTER 1 COPY	21/11/2013
EDR1333712	AMD299	15/11/2013 MCMURTRIE	EXECUTED DOCUMENT. ITEM:2.4 OCM: 15.06.111 RE: REZONING OF LOT 50 CHESTER PASS ROAD, KING RIVER FROM RURAL TO SPECIAL RURAL ZONE. PARTIES: CITY OF ALBANY AND G C AND G L CAKE SIGNED BY CEO G FOSTER 3 COPIES	22/11/2013

COMMON SEAL REGISTER

Document	FILE NUMBER	DATE SENT RECD	Ext Cor Name	Description	Respond By Date
NCSR1333170	PRO177	15/10/2013	CATHERALL	COPY OF COMMON SEAL ITEM: 2.7 OCM: 19.12.10 RE: NEW DEAD OF LEASE - CHEYNE BEACH HOLIDAY ACCOMMODATION ON PORTION OF CROWN RESERVE 878 - LOT 14 BASTERI ROAD, CHEYNE BEACH PARTIES: CITY OF ALBANY AND MICHAEL DOUGLAS KING AND DENISE IRENE KING SIGNED BY MAYOR AND A/CEO G ADAMS 3 COPIES	15/10/2013
NCSR1333172	PRO179	15/10/2013	CATHERALL	COPY OF COMMON SEAL ITEM: 2.7 OCM: 19.12.10 RE: NEW DEAD OF LEASE - CHEYNE BEACH HOLIDAY ACCOMMODATION ON PORTION OF CROWN RESERVE 878 - LOT 1 BAXTERI ROAD, CHEYNE BEACH PARTIES: CITY OF ALBANY AND GAETANO D'APRILE AND ROBYN LEE D'APRILE SIGNED BY MAYOR AND A/CEO G ADAMS 3 COPIES	15/10/2013
NCSR1333220	SD.AGR.1	18/10/2013	CROOK	COPY OF COMMON SEAL ITEM: 4.6 OCM: 15.03.11 RE: GRANT OF EASEMENT - LOT 2 AND 296 NORTH ROAD. PARTIES: CITY OF ALBANY AND G & J FAULKNER AND W POLIWKA SIGNED BY MAYOR AND A/CEO G ADAMS 2 COPIES	18/10/2013
NCSR1333222	PRO189	18/10/2013	SRODZINSKI	COPY OF COMMON SEAL ITEM: 4.5 OCM: 18.12.12 ITEM: 4.5 OCM: 16.04.13 RE: DEED OF LEASE - ALBANY MODEL AERO CLUB FOR A TERM OF 10 YEARS ON PORTION CROWN RESERVE 34730 PARTIES: CITY OF ALBANY AND ALBANY MODEL AERO CLUB INC. SIGNED BY MAYOR AND A/CEO G ADAMS 2 COPIES	18/10/2013
NCSR1333257	146624	22/10/2013	SVANBERG	COPY OF COMMON SEAL ITEM: N/A OCM: N/A RE: RESTRICTIVE COVENANT FOR SUBDIVISION APPROVAL WAPC 146624, LOT 149 ON DP73409, BARRY COURT, COLLINGWOOD HEIGHTS PARTIES: CITY OF ALBANY AND GRAHAM WALKER AND FIORINO DANIELE SIGNED BY MAYOR AND A/CEO G ADAMS 2 COPIES	22/10/2013
NCSR1333259	PRO208	22/10/2013	SRODZINSKI	COPY OF COMMON SEAL ITEM: 4.5 OCM:16.04.13 RE: DEED OF VARIATION OF LEASE - SPORTING SHOOTERS ASSOCIATION OF AUSTRALIA (ALBANY, WA BRANCH) INC PARTIES: CITY OF ALBANY AND SPORTING SHOOTERS ASSOCIATION OF AUSTRALIA (ALBANY, WA BRANCH) INC SIGNED BY MAYOR AND A/CEO G ADAMS 3 COPIES	22/10/2013

REPORT ITEM CSF047 REFERS

NCSR1333308	PRO357	24/10/2013 HUBBLE	COPY OF COMMON SEAL ITEM: 4.6 OCM: 15.03.11 RE: SALE OF LOT 438 (7) GIFFORD STREET, LOCKYER - AUTHORITY TO ACT PARTIES: CITY OF ALBANY AND HHG LEGAL GROUP SIGNED BY MAYOR AND A/CEO G ADAMS 1 COPY	24/10/2013
NCSR1333458	PS.TEN.9 PS.TEN.9	04/11/2013 ALLEN	COPY OF COMMON SEAL ITEM: 1.1 OCM: 18.09.12 RE: CONTRACTS FOR C13013 PANEL OF SUPPLIERS - SUPPLY AND DELIVERY OF CONCRETE DRAINAGE PRODUCTS PARTIES: CITY OF ALBANY AND ICON SEPTTECH, WEMBLEY CEMENT, BALL BODYBUILDERS, PN AND ER NEWMAN SIGNED BY MAYOR AND A/CEO G ADAMS 8 COPIES	04/11/2013
NCSR1333460	PRO184	04/11/2013 SRODZINSKI	COPY OF COMMON SEAL ITEM: 4.5 OCM: 16.04.13 RE: DEED OF ASSIGNMENT OF LEASE - ON PORTION OF ALBANY REGIONAL AIRPORT TERMINAL, 35615 ALBANY HIGHWAY DROME, LEASE EXPIRING 20 NOVEMBER 2017 PARTIES: CITY OF ALBANY AND ASSIGNOR: MICHAEL FLETCHER CRAWSHAW AND ELIZABETH ANNE JEFFERS AND DONALD ROY PREFREMENT AND CATHY PREFREMENT ASSIGNEE: WARREN NEIL PORTER AND GLORIA MAY PORTER SIGNED BY MAYOR AND A/CEO G ADAMS 2 COPIES	04/11/2013
NCSR1333461	1139-12	04/11/2013 SVANBERG	COPY OF COMMON SEAL ITEM: 4.5 OCM: 16.04.13 RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 1139-12 LOT 15 FLINDERS PARADE PARTIES: CITY OF ALBANY AND TERRANCE JAMES TAYLOR AND BRENDA ANN TAYLOR SIGNED BY MAYOR AND A/CEO G ADAMS 1 COPY	04/11/2013
NCSR1333531	147222	05/11/2013 SVANBERG	COPY OF COMMON SEAL ITEM: N/A OCM: N/A RE: SECTION 70A NOTIFICATION APPROVAL 147222, LOT 5977 (LOT 154 ON DEPOSITED PLAN 400801) ARMSTRONG ROAD PARTIES: CITY OF ALBANY AND AUSTRALIAN BLUEGUM PLANTATIONS PTY LTD SIGNED BY MAYOR AND A/CFO G ADAMS 1 COPY	05/11/2013
NCSR1333580	RD.TEN.10 C13016	07/11/2013 ALLEN	COPY OF COMMON SEAL ITEM: WS013 OCM: 29.10.13 RE: CONTRACTS FOR C13016 WILLYUNG ROAD (SLK 0.02 -1.76) PARTIES: CITY OF ALBANY AND AD CONTRACTORS PTY LTD SIGNED BY MAYOR AND CEO G FOSTER 2 COPIES	07/11/2013
NCSR1333581	RD.TEN.8 RD.TEN.8	07/11/2013 ALLEN	COPY OF COMMON SEAL ITEM: WS013 OCM: 29.10.13 RE: CONTRACTS FOR C13015 MILLBROOK ROAD (SLK 5.30 -6.90) PARTIES: CITY OF ALBANY AND PALMER EARTHMOVING AUSTRALIA PTY LTD SIGNED BY MAYOR AND CEO G FOSTER 2 COPIES	07/11/2013

REPORT ITEM CSF047 REFERS

NCSR1333583	RD.TEN.11 RD.TEN.11	07/11/2013 ALLEN	COPY OF COMMON SEAL ITEM: WS014 OCM: 29.10.13 RE: CONTRACTS FOR C13017 PFEIFFER ROAD (SLK 20.02 -22.44) PARTIES: CITY OF ALBANY AND ARMOGEDIN PTY LTD TRADING AS GREAT SOUTHERN SANDS SIGNED BY MAYOR AND CEO G FOSTER 2 COPIES	07/11/2013
NCSR1333585	PR.TEN.8 PR.TEN.8	07/11/2013 ALLEN	COPY OF COMMON SEAL ITEM: 1.1 OCM: 18.09.12 RE: CONTRACTS FOR C13019 FIRE ACCESS TRACK RENEWAL WORKS PARTIES: CITY OF ALBANY AND LINDSAY ALLAN FREEGARD SIGNED BY MAYOR AND CEO G FOSTER 2 COPIES	07/11/2013
NCSR1333682	143047	13/11/2013 SVANBERG	COPY OF COMMON SEAL ITEM: WS013 OCM: 29.10.13 RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 14047, 22 WAKEFIELD CRESCENT (LOT 231 AND LOT 232 ON DEPOSITED PLAN 400800) PARTIES: CITY OF ALBANY AND KIM SNOWBALL AND KATHERINE FELICITY ANN JEFFRIES SIGNED BY MAYOR AND CEO G FOSTER 1 COPY	13/11/2013
NCSR1333747	147194	15/11/2013 SVANBERG	COPY OF COMMON SEAL ITEM: N/A OCM: N/A RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 147194 - LOT 205 ON DEPOSITED PLAN 76621 PARTIES: CITY OF ALBANY AND VALERIE JUNE LITTLE SIGNED BY MAYOR AND CEO G FOSTER 2 COPIES	15/11/2013
NCSR1333748	147202	15/11/2013 BOTT	COPY OF COMMON SEAL ITEM: N/A OCM: N/A RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 147202, CONDITION 2 PARTIES: CITY OF ALBANY SIGNED BY MAYOR AND CEO G FOSTER 1 COPY	15/11/2013

City of Albany Policy – Street Tree Management

1. Policy Statement

To ensure that the City of Albany manages street trees in accordance to best practice guidelines to allow for their protection and preservation, whilst ensuring the public safety is not compromised.

2. Objective

This policy and associated Guideline (City of Albany Street Trees) provides clear and effective direction for the management of street trees within the City of Albany to ensure they are maintained in a healthy state and minimise any adverse impacts of the trees on public safety.

Sustainable street tree management plays an integral role in reducing the City carbon footprint and providing a clean and green urban environment.

3. Scope

The Street Tree Guideline provides the framework through which street trees will be managed within the City of Albany and applies to Council, residents, builders and developers alike.

4. Legislative and Strategic Context

- *City of Albany, Activities on Thoroughfares and Public Places and Trading local law, 2011.*

5. Review Position and Date

Chief Executive Officer to review on or before 30 June 2015

6. Associated Documents

- *City of Albany Street Tree Guideline, 2013*
- *Australian Standard 4373-2007 'Pruning of Amenity Trees'*
- *Code of Practice for Personnel Electrical Safety for Vegetation Control Work Near Live Power Lines, January 2013*

7. Definitions

Street Tree – is a tree or shrub that has been either planted or is naturally occurring within an urban road verge and is under the care and maintenance of the City of Albany

Version Control

Version	Date	Status	Distribution	Comment
01	20 November 2013	Draft – Version 1	Internal Document <ul style="list-style-type: none"> • Works and Services • Environment & Reserves Committee? 	Author: Reserves Officer

PURPOSE OF THIS GUIDELINE

This guideline is intended to provide answers to commonly asked questions regarding the City of Albany's maintenance of street trees.



Background

The City of Albany recognises that street trees play an integral role in the aesthetic and environmental aspects of streetscapes within the City.

However, in some cases, the retention of all trees might not be feasible, reasonable or desirable.

These guidelines have been formulated to ensure that the City of Albany manages and maintains street trees in accordance to best practices and to allow for their protection and preservation, whilst ensuring the public safety is not compromised.

Due to the hazardous nature and liability concerns of tree felling, residents / occupants are not permitted to remove street trees themselves.

The City retains sole authority over any street tree removal and makes the final decision as to whether a tree is removed.

These are some possible reasons for tree removal:

- The tree has been assessed by a qualified City Officer / Contractor as being diseased and beyond repair or dead.
- The tree has been irreparably damaged by a storm event.
- The tree is considered hazardous to motorists / pedestrians.
- The tree is affected by road widening requirements, location of services or other necessary infrastructure.
- The tree is in dangerous contact with overhead powerlines.
- The tree impinges on the development potential of abutting properties with no reasonable design alternatives.
- To allow for the construction of an essential City of Albany approved crossover.

These are NOT reasons for tree removal:

- The tree obscures or potentially obscures views (other than minimum safety sight lines for pedestrians or vehicles).
- The tree species is disliked.
- The tree species causes nuisance by way of leaf, fruit, bark shedding etc.
- The tree blocks a non-essential crossover or road verge treatment.
- The tree shades private property.
- Any pruning that is contrary to AS 4373-2007 'Pruning of Amenity Trees'.

Pruning of street trees

From time to time pruning of street trees may be necessary to remove diseased, dead or dangerous branches.

Trees will not be pruned, lopped or disturbed to improve views or to reduce shading onto private property.

If you notice a dangerous tree that requires

pruning please contact the City of Albany on 9841 9333 to report the issue.

If it appears that the tree is interfering with a power line, please call Western Power on 13 10 87.

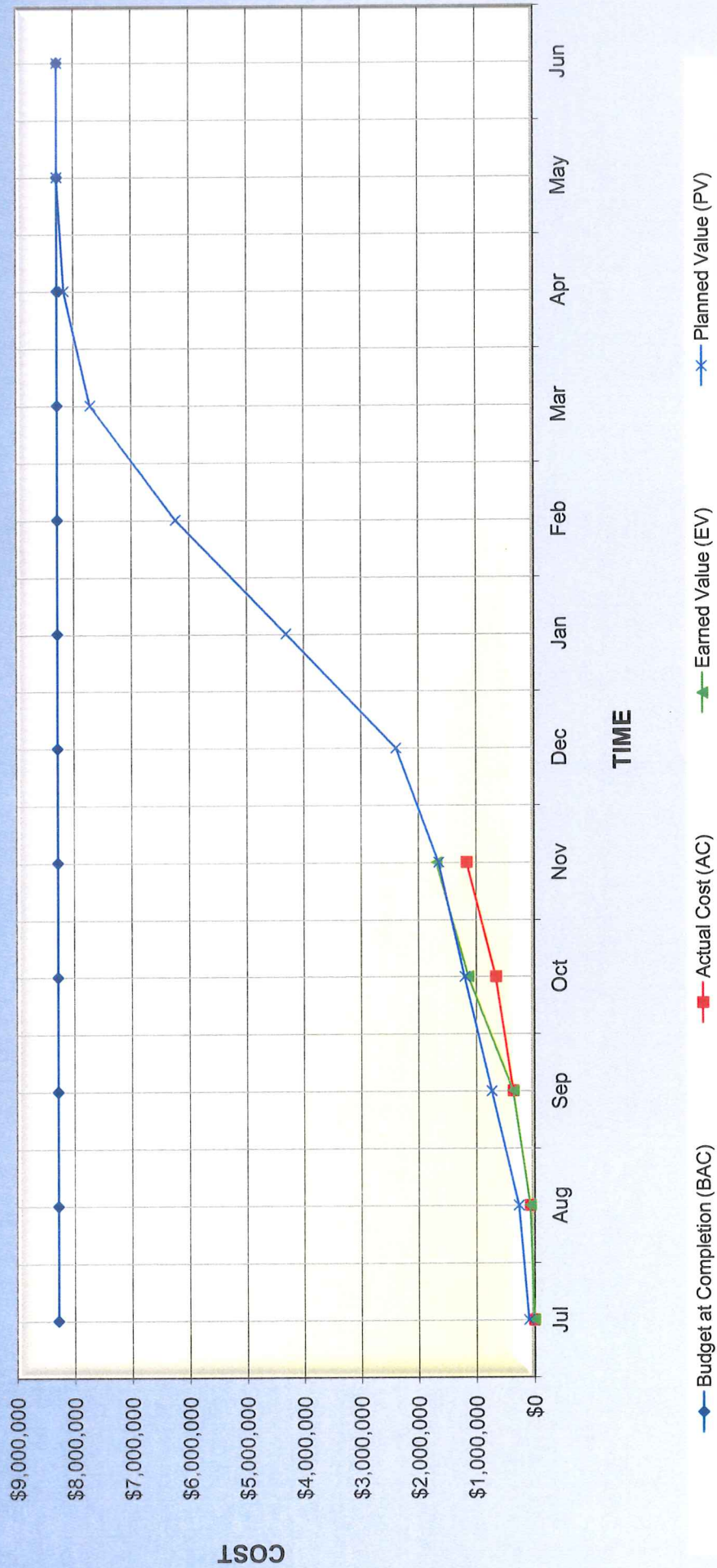
For more information contact:

Alexandra Tucker
alexandrat@albany.wa.gov.au
www.albany.wa.gov.au





Capital Works Progress Report
as at 30 November 2013



City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 30th November 2013

Note 10: CAPITAL DISPOSALS AND ACQUISITIONS

Contributions Information				Summary Acquisitions	Original Budget	Current Budget	Actual
Grants	Reserves	Borrowing	Total				
\$	\$	\$	\$		\$		\$
2,500,000	0	0	2,500,000	Infrastructure			
868,939	0	0	868,939	Roadworks	5,953,283	5,917,364	758,117
0	0	0	0	Drainage	2,467,890	2,575,473	77,530
0	0	0	0	Bridges	3,393,000	3,393,000	0
0	0	0	0	Footpath & Cycleways	1,895,184	1,895,184	328,318
81,726	9,721	0	91,447	Parks, Gardens & Reserves	6,628,137	6,737,729	1,658,864
0	1,260,557	0	1,260,557	Sanitation	1,260,557	1,257,978	41,711
9,388,749	80,634	0	452,390	Other Infrastructure	9,598,174	9,598,009	51,910
12,839,414	1,350,912	0	5,173,333	Totals	31,196,225	31,374,737	2,916,450

Comments - Capital Acquisitions

Contributions				Roads	Current Budget			
Grants	Reserves	Borrowing	Total		This Year			
					Original Budget	Current Budget	Actual	
\$	\$	\$	\$	\$		\$		
2,500,000			2,500,000	Subdivisions Handed over to the City	1,000,000	1,000,000	0	
				Lower Denmark Rd (SLK 18.15-21.50)	0	37,621	37,621	
			0	Lower Denmark Rd (Slk 0.0 - 0.76) (100% R)	37,068	33,765	778	
			0	Chillinup Rd - Gravel Resheet (Slk 21.80-27.00) (100% R)	180,000	180,000	183,653	Complete
			0	Dempster Rd - Second Coat Seal (Slk 2.38-4.50) (100% R)	70,000	70,000	0	
			0	Dragon Road - Seal (Slk 0.27 - 0.62) (20% U, 80% R)	35,000	35,000	134	
			0	Frenchman/Princess Intersection - Widen For Turning Bulge (Slk 3.37 - 3.55) (20% U, 80% R)	150,000	150,000	1,396	Tender
			0	Hanson St - Overlay, Box Out & New Kerb On North Side (Slk 0.46 - 0.62) (100% R)	89,000	89,000	47,715	Complete
			0	Hope St - Asphalt Overlay (Slk 0.00 - 0.15) (100% R)	40,000	40,000	1,791	
			0	Johnson Rd - Gravel Resheet (Slk 0.00 - 5.00) (100% R)	175,000	175,000	149,204	Complete
			0	Leonora St - Asphalt Overlay (Slk 0.55 - 0.91) (100% R)	65,000	65,000	0	
			0	Lion St - Asphalt Overlay, Kerb & Drainage (Slk 0.00 - 0.24) (40% U, 60% R)	80,000	80,000	88,875	Complete
			0	Lower Denmark Rd - Second Coat Seal (Slk 6.2-11.91) (100% R)	228,500	228,500	0	
			0	Lower Denmark Rd - Second Coat Seal (Slk 25.18 - 36.81) (100% R)	461,300	461,300	0	
			0	Lower Denmark/Roundhay Int - Widen For Turning Pocket Design (Slk 1.47-1.68) (30% U, 70% R)	30,000	30,000	0	

REPORT ITEM WS025 REFERS

0	Millbrook Rd - Reconstruct And Widen Through Bends (Slk 5.30 - 6.90) (15%U, 85%R)	567,000	567,000	106	Construction
0	North Road Pedestrian Crossing (Slk 0.67 - 0.75) (100% R)	25,000	25,000	12,584	85%
0	Old Elleker Road/George St - Seal Staggered Intersection (Slk 2.47 - 2.59) (20%U, 80%R)	38,000	38,000	0	
0	Pfeiffer Rd - Reconstruct Sections Showing Signs Of Failure (Slk 20.02-22.44) (15% U, 85% R)	390,000	390,000	12,135	Construction
0	Piggot Martin Rd - Gravel Resheet (Slk 0.00 - 4.36) (100% R)	150,000	150,000	38,432	90%
0	Princess Ave - Reconstruct & Upgrade (Slk 0.00-0.80) (15% U, 85% R)	420,001	336,765	450	Tender
0	Redhen Rd - Gravel Resheet (Slk 0.00-3.62) (100% R)	130,000	130,000	0	
0	Redmond West Rd - Gravel Resheet (Slk 18.00 - 22.72) (100% R)	165,000	165,000	528	
0	Sinclair St - Asphalt Overlay & Kerbing (Slk 0.00-0.15) (30% U, 70% R)	70,002	70,002	904	
0	Willyung Rd Gravel Overlay, 9M Formation; 7M Two Coat Seal (Slk 0.02-1.76) (15% U, 85% R)	600,000	600,000	637	Construction
0	Winifred Road - Seal Rail Crossing (Slk 0.00 - 0.07) (20% U, 80% R)	20,000	20,000	0	
0	Emu Point Car Park (100% R)	30,000	30,000	49,899	Complete
0	Lake Seppings Roadworks (Slk 0.22-0.57) (100% E)	120,000	120,000	5,393	
0	Millbrook Rd (100% R)	111,424	124,737	365	Construction
0	Perkins Beach Rd (Slk 0.44-1.73) (100% R)	45,670	45,670	0	
0	Pfeiffer Rd (Slk 20.02-22.14) (100% R)	300,000	300,000	47,985	Construction
0	Scrub Bird Rd (Slk 0.18-0.6) (100% R)	30,318	30,004	439	Complete
0	2013-14 Design Costs	100,000	100,000	77,092	
2,500,000	0	0	2,500,000	Totals	5,953,283 5,917,364 758,117

Contributions				Drainage	Current Budget		
Grants	Reserves	Borrowing	Total		This Year		
					Original Budget	Current Budget	Actual
\$	\$	\$	\$	\$		\$	
868,939			868,939	Frederick St/Aberdeen/Peel Pl Verge - Crossover Footpath (100% U)	12,999	12,999	1,960
				0 96 Wylie Crescent Wylie Cres Drainage (50% U, 50% R)	9,999	9,999	775
				0 North Rd Drainage Project (100% R)	580,000	687,583	28,197
				0 Ulster Road Woodthorpe School Drainage (100% U)	59,600	59,600	0
				0 Bayonet Head Meananger Rd Flood Mitigation - Improve Storm Sump Outfall (80% E, 20% U)	45,000	45,000	472
				0 Cull Park Catchment Stage 2 - Re Route Drainage To Symers St Design (75% E, 25% U)	80,000	80,000	0
				0 Federick St/Aberdeen/Peels Pl Verge - Crossover Footpath (20% E, 60% U, 20% R)	30,000	30,000	1,380
				0 Lower Barnesby Drive Upgrade Driveway Culvert (40% U, 60% R)	1,125,000	1,125,000	43,667
				0 Proudlove Pde/Uwa Building/Stirling Tce - New Pipe Installation (100% E)	70,000	70,000	564
				0 Proundlove Pde - Timber Box Culvert Replacement Near Railway Station (20% E, 80% U)	140,000	140,000	0
				0 Railways Football Club - Culvert Removal (100% U)	5,000	5,000	0
				0 Replace Damaged And Worn Drainage Pits Covers, Raise Buried Pits (100% U)	22,500	22,500	0
				0 Beaufort Rd/Barnesby & Target Road Verge Flooding (50% U, 50% R)	9,999	9,999	515
				0 Stephen St Basin	187,794	187,794	0
				0 York Street Gross Pollutant Trap Installation (100% U)	55,000	55,000	0
				0 Broughton Street Overflow (100% U)	25,000	25,000	0
				0 Maitland Avenue, Paulas Way, Little Grove Maitland Ave Drainage (50% U, 50%R)	9,999	9,999	0
868,939	0	0	868,939	Totals	2,467,890	2,575,473	77,530

Contributions				Bridges	Current Budget		
Grants	Reserves	Borrowing	Total		This Year		
					Original Budget	Current Budget	Actual
\$	\$	\$	\$		\$		\$
			0	Elleker Grassmere Bridge 4689 (100% R)	3,312,000	3,312,000	0
			0	Lower King - King River Bridge 4630 (100% R)	81,000	81,000	0
0	0	0	0	Totals	3,393,000	3,393,000	0

Contributions				Footpaths & Cycleways	Current Budget			
Grants	Reserves	Borrowing	Total		This Year			
					Original Budget	Current Budget	Actual	
\$	\$	\$	\$		\$		\$	
			0	Eyre Park Shared Paths	190,000	190,000	152,792	Complete
			0	Anzac Peace Park Shared Path	120,000	120,000	96,399	Complete
			0	Middleton Road Shared Path	70,000	70,000	48,418	Complete
			0	Albany Cycling Strategy	70,000	70,000	14,300	
			0	Mundi Bididi Re-alignment	155,084	155,084	182	
			0	Minerva / Leslie - Construct A 1.5Mtr Path From Edward St To North Rd (100% E)	170,300	170,300	0	
			0	Angove Rd - Construction Of A Pedestrian Refuse Island (100% E)	6,100	6,100	3,350	Complete
			0	Bicycle Strategy Priorities (20%E, 60% U, 20% R)	600,000	0	300	
			0	Earl St - Patch Existing Surface, Overlay With Asphalt, From Rowley To Spencer St (40%U, 60% R)	10,200	10,200	0	
			0	Middleton - Replacing With A New 2M Wide Asphalt Path And Barrier Kerb (40% U, 60% R)	62,500	62,500	0	
			0	Nanarup Rd Foreshore Trail - Stage 1 (80% E, 20% U)	260,000	260,000	0	
			0	South Coast H/Way - Replace Existing Slabs With Concrete From Barrett To Lurline St (20% U, 80% E)	176,000	176,000	0	
			0	295 Albany Hwy Pram Ramp Installation (100% U)	5,000	5,000	4,341	Complete
				Survey Expenses for 11/12 Path Design	0	0	8,236	
				Anson Road pathway - NASHS to Richard St	0	75,000	0	Tender
				Nanarup Road Pathway - Great Southern Grammar School to Barameda Rd	0	100,000	0	
				Emu Point - Middleton Beach Loop pathway - Griffith St Car Park	0	90,000	0	
				Golf Links Road - Wollaston Rd to Troode St	0	170,000	0	Design
				Golf Links Road/Troode St - Line Marking	0	15,000	0	Design
				Emu Point Drive - Troode St to Clark St	0	150,000	0	
0	0	0	0	Totals	1,895,184	1,895,184	328,318	

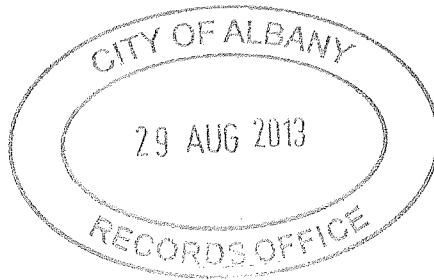
Contributions				Parks, Gardens & Reserves	Current Budget		
Grants	Reserves	Borrowing	Total		This Year		
					Original Budget	Current Budget	Actual
\$	\$	\$	\$		\$		\$
			0	Mt Clarence Landscape/Infrastructure Works	5,027,348	5,134,244	1,572,116
			0	Mt Adelaide Heritage Park	400,000	400,000	0
			0	North Road Roundabouts	9,505	9,505	0
			0	Bettys Beach Reserve - Picnic Tables X 5	10,000	10,000	0
			0	Bettys Beach Reserve - Upgrade Tracks	40,000	40,000	182
25,000			25,000	Cosy Cnr East - Upgrade Camping Grounds And Toilet Upgrade	83,000	83,000	50
			0	Frenchman Bay - Replace Bbq's	27,000	27,000	23,423
			0	Whaling Cove - Upgrade Toilet And Day Use Area	30,000	30,000	1,257
52,200			52,200	Upgrade Mills Park	72,684	70,854	38,206
			0	Emu Point - Coastal Adaption Protection Works	413,000	413,000	0
			0	Eyre Park - Replace Bbq'S	15,000	15,000	0
			0	Hull Park - Construct Limestone Brick Retention Barrier For Sand Soft Fall	5,600	5,600	0
			0	Nesbit Gardens - Replace Kerbing Around Gardens	5,000	5,000	0
			0	North Rd/Albany Hway Median Strip - Median Strip Amenity	200,000	200,000	14,300
			0	Town Square Development	150,000	150,000	9,330
			0	Railways Irrigation System	65,000	65,000	0
4,526	9,721		9,721	Capital Seed Funding for Sporting Clubs	75,000	75,000	0
			4,526	Whaling Cove Signage Shelter	0	4,526	0
81,726	9,721	0	91,447	Totals	6,628,137	6,737,729	1,658,864

Contributions				Sanitation	Current Budget		
Grants	Reserves	Borrowing	Total		This Year		
					Original Budget	Current Budget	Actual
\$	\$	\$	\$		\$		\$
	100,000		100,000	Enlarge current drainage settlement pond	100,000	100,000	0
	100,000		100,000	Clay capping and soil cover at finished level of landfill	100,000	100,000	0
	70,557		70,557	Waste OSH Work Environment Improvement	70,557	67,978	0
	100,000		100,000	Install new groundwater monitoring bores	100,000	100,000	0
	100,000		100,000	Clay capping and soil cover at finished level of landfill	100,000	100,000	0
	100,000		100,000	Improvements to access roads and car parks	100,000	100,000	0
	650,000		650,000	Construct leachate drainage system for landfill site	650,000	650,000	41,711
	40,000		40,000	Perimeter fencing around land acquisition	40,000	40,000	0
0	1,260,557	0	1,260,557	Totals	1,260,557	1,257,978	41,711

Contributions				Other Infrastructure	Current Budget		
Grants	Reserves	Borrowing	Total		This Year		
					Original Budget	Current Budget	Actual
\$	\$	\$	\$		\$		\$
	80,634		80,634	Emu Point Boat Pens Upgrade	80,634	76,180	7,075
155,006			155,006	Emu Point Car Park - Boat Trailer Park	0	0	0
158,280			158,280	Little Grove Trailer Parking	160,580	165,210	0
18,227			18,227	Little Grove Fish Cleaning Facilities	23,470	23,470	0
40,243			40,243	Little Grove Toilets	123,835	123,835	0
			0	Emu Point Coastal Works	89,662	89,321	26,513
9,016,993			0	Centennial Park - Western, Eastern & Central Precinct Development - Infrastructure	9,119,993	9,119,993	18,323
9,388,749	80,634	0	452,390	Totals	9,598,174	9,598,009	51,910

Tom Wenboure,
Senior Planning Officer
Albany City Council

20th August 2013



oc No.	City of Albany Records
ie.	ICR13108843
ate	A14136
fficer	29 AUG 2013
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**Re: EF1376157 - A14136 - Application for Planning Scheme Consent
P2130227 - 18 Caledonia Crescent Goode Beach**

Dear Mr. Wenbourne,

In response to your email dated 16th July 2013 regarding the application for consent to relax the R-Codes at the above property, please see below our detailed response the issues raised.

Enclosed with this letter is a revised set of documentation including:

- **Site Plan**
- **Lower ground floor plan**
- **Ground floor plan**
- **North, East, South, West Elevations**
- **Sections A & B**
- **Height Diagrams**

General

Lot 121 at the end of the cul de sac of Caledonia Crescent is an irregular shaped block which steeply falls away to the east. Our aim has been to minimize the impact on the block, retaining as much natural vegetation as possible, and minimizing the amount of cut and fill, by utilizing the natural lie of the land for the vehicular access.

Front Setback

The irregular shape of the site results in two street boundaries which are in the main, setback a larger than usual distance from the street. An easement of approximately 2m separates the boundaries of Lot 121 and 16 Caledonia Crescent.

The location and design the proposed dwelling is staggered such that only a small area of the building is within the street setback, with the remaining built form well within this boundary at approximately 11m from the closest street boundary. This area within the setback is still a considerable distance from the street and retained existing vegetation will minimize the visual impact and

building bulk to the street, retaining the appearance of natural bushland, thereby providing an attractive setting for the building.

Due to the irregular shape of the block and the fact there is no through traffic, the proposed structure does not pose a safety risk for occupants or passers-by. The proposed structure allows ample safety clearance for easements and essential service corridors.

Building setbacks are captured in both the current Town Planning Scheme 3 and the R-Codes. The Town Planning Scheme 3 makes reference only to sites with a density of R5 and R20. Clause 5.8 (b) states the following:

Minimum Setbacks (m)

R5 Coded Areas

Primary Street	7.5
Secondary Street	4

R20 Coded Areas

Primary Street	7.5
Secondary Street	1.5

While the R-Codes allow councils to determine setbacks, the R-Codes do not allow the council to determine the site coding, which is prescribed in the R-Codes by Table 1. Since the area of our block is around 960sqm, this falls into codes R10 or R12.5 in Table 1. Any suggestion that the applicable R Code is other than R10 or R12.5 would place the Town Planning Scheme at odds with the R-Codes, and then the R-Codes take precedence. Since the Town Planning Scheme 3 only defines setback variations applicable to R5 and R20, then the setback that applies to our block is that within the R-Codes, which is 7.5m averaged. (Refer R-Codes 6.2.1)

At the closest point the planned structure is ~4.2 metres from the nearest street boundary, and the average setback is significantly larger. The proposed dwelling meets the objective and the performance criteria as described in the R-Codes, (ie 7.5m averaged setback as shown on the site plan).

Overlooking of 21 Caledonia Crescent:

We understand that the pedestrian bridge, being over 0.5m may have overlooking implications as outlined by the R-Codes. Refer to the enclosed Site Plan which identifies the overlooking view cones to 21 Caledonia Crescent. The level of the access bridge and the floor level of the structure are continuously lower than any location at the adjacent site. In that case good decision making would take into account what normally occurs when two adjoining blocks are at the same level. In that case, overlooking is normally not considered an issue, since a standard fence will provide adequate screening.

In a letter to me from Deb Delury of the Albany Council, dated 30 Nov 2010, it stated that a condition of a SAT determination regarding a retaining wall along our common boundary required the establishment of screening plants to ensure privacy is maintained. I trust the council has enforced that determination. In

addition, the retention of existing vegetation along with new plantings on our side, should further contribute to adequate privacy screening. We also note that there are no outdoor living areas or structures falling within the view cones. We have written to the owners of 21 Caledonia Crescent seeking their comment.

Overlooking of 33 and 35 Karakatta Road:

An outdoor living area placed to give a northerly aspect is shown on the site plan. View cones are shown in red and indicate a potential for overlooking at the above mentioned properties. We note several mitigating factors.:

1. The view cone mostly falls upon a granite outcrop that straddles the three adjoining properties, and this feature makes any future outdoor living area within this cone highly unlikely.
2. Both 33 and 35 Karakatta Road have their main living areas oriented to the east to take advantage of the ocean views. These dwellings have no active habitable spaces facing the west.
3. The nearest point of the structure for 35 Karakatta Road is more than 9m from the proposed deck.
4. The nearest point on the structure for 33 Karakatta Road is more than 14m from the proposed deck.
5. The retention of all existing vegetation will be complimented with additional plantings to provide landscape screening to both 33 and 35 Karakatta Road.

We have written to the owners of 33 and 35 Karakatta Road seeking their comment on this matter.

Overheight:

The proposed design has a flat roof construction which we understand to incur a maximum height restriction of 7m above natural ground level. We believe that the flat roof design will minimize any impact on views to the adjoining neighbour at 21 Caledonia Crescent as the finished height of the proposed dwelling sits well below the window height of this property.

The proposed dwelling is designed to be approximately level with Caledonia Crescent to provide ease of access for pedestrians via the bridge link. This also provides an activated and safe street entrance. The internal house is level throughout to allow for wheelchair access and minimize the potential for falls. Due to the irregular and steeply sloping block, a small region of the building exceeds the maximum height of 7m above natural ground level (see enclosed height diagrams and south elevation). Due to the retention of existing redgums near the road reserve, we believe the proposed dwelling will not be highly visible as you move south along Caledonia Crescent away from the pedestrian access area, and accordingly, the impact of the extra height from the street view will be difficult to discern.

All adjoining neighbours have been asked to comment on the overheight.

The region to the north of our property (Location 7099 Karrakatta Road) is under the control of the Department of Parks and Wildlife. John Watson (Strategic Planning Officer) indicated in a phone conversation (19th August 2013) that council deals with these matters and that I need not contact him or the Department in relation to overheight.

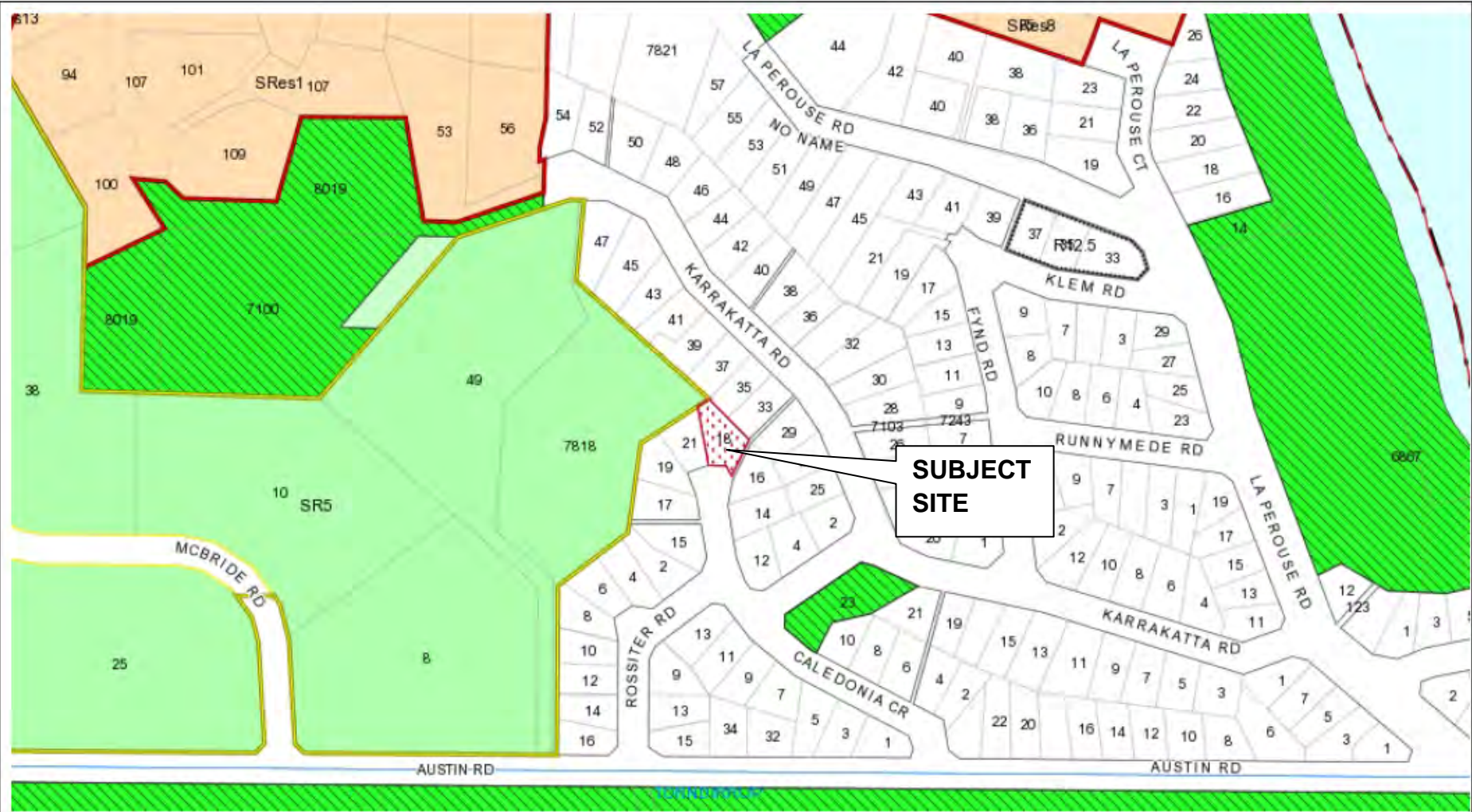
We trust the above information is clear and responds to all of the queries outlined in the aforementioned email from you. Should you have any further queries to the above information we ask that you contact us at your earliest possible convenience such that we can clarify information.

Regards,

A handwritten signature in black ink, appearing to read 'R. & C. Jeffery', with a stylized flourish at the end.

Roger & Claire Jeffery

21 Bendigo Way,
City Beach,
Perth, WA 6015

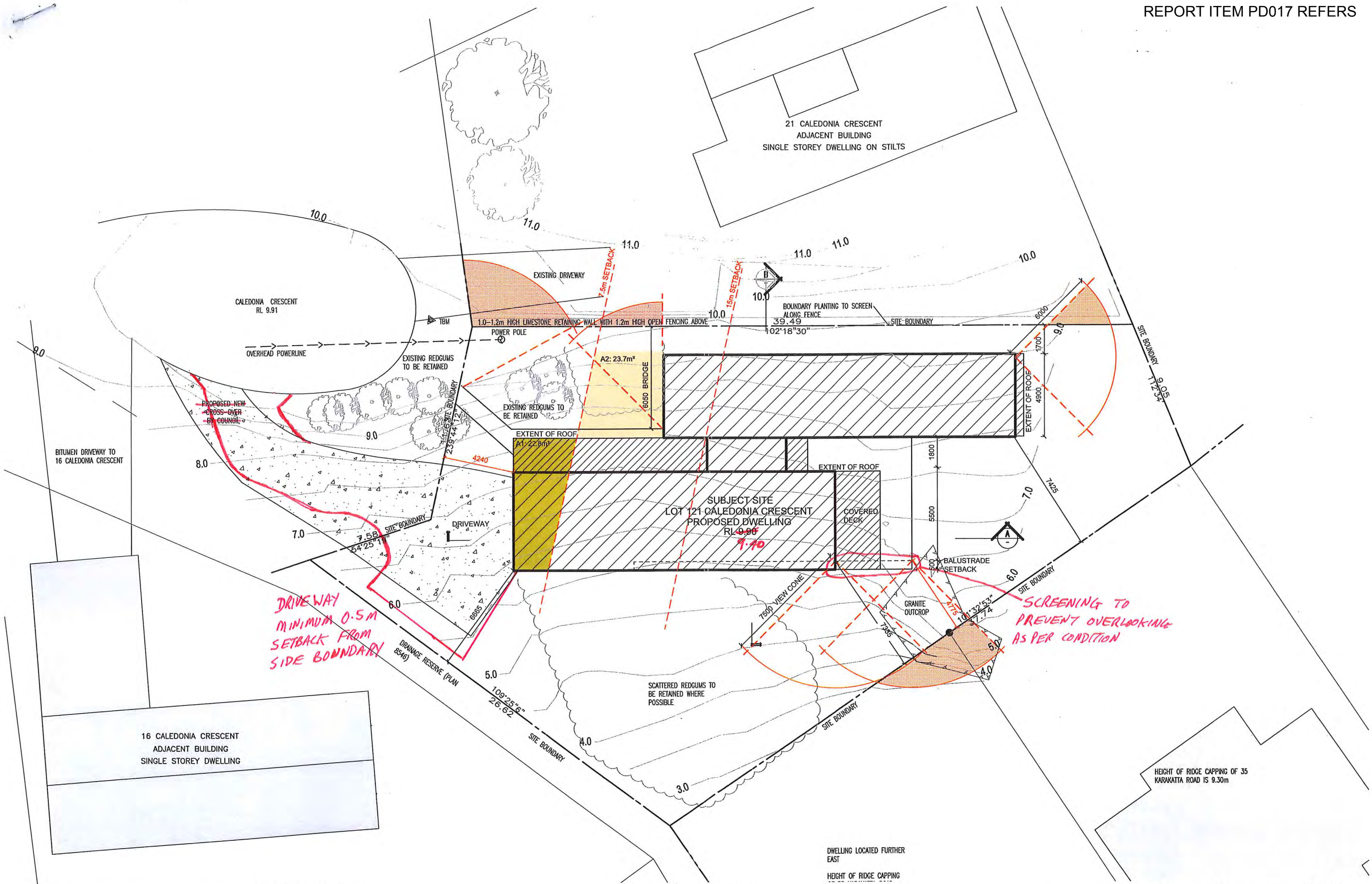


This map has been produced by the City of Albany using data from a range of agencies. The City bears no responsibility for the accuracy of this information and accepts no responsibility for its use by other parties

Monday, 18 November 2013

1:5000





North Point

Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

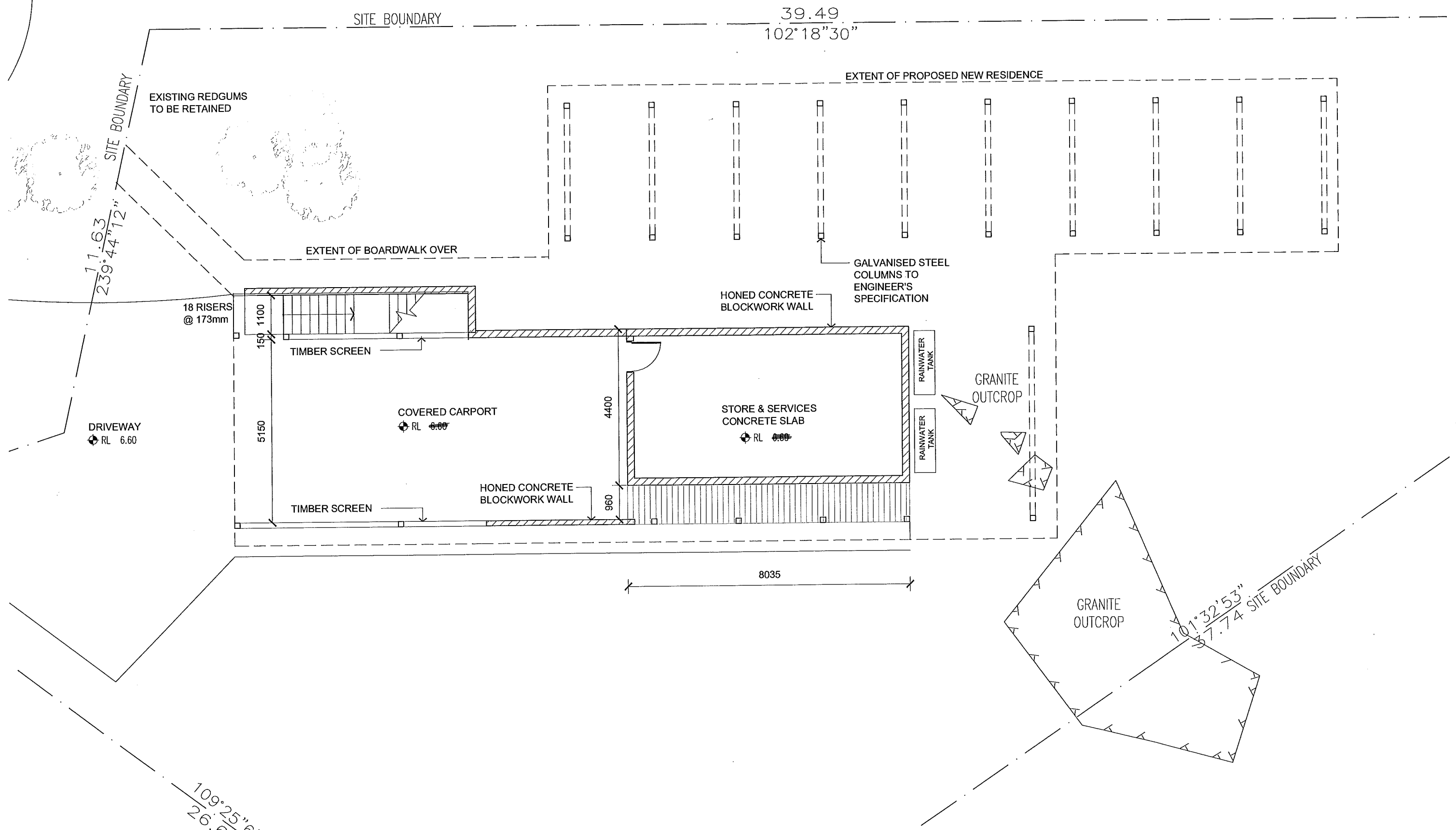
Rev. No.	Date	Revision
01	30.05.13	Issue for Town Planning
02	12.08.13	Issue for Town Planning - Revision 2

Project
PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY

Drawing
SITE PLAN - EXISTING & PROPOSED

Date	Scale	Sheet Size
30.05.13	1:200	@ A3
Drawing No.	Revision	
TP01	02	

HEIGHT OF RIDGE CAPPING OF 35 KARAKATTA ROAD IS 9.30m



North Point

0 2 4

Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

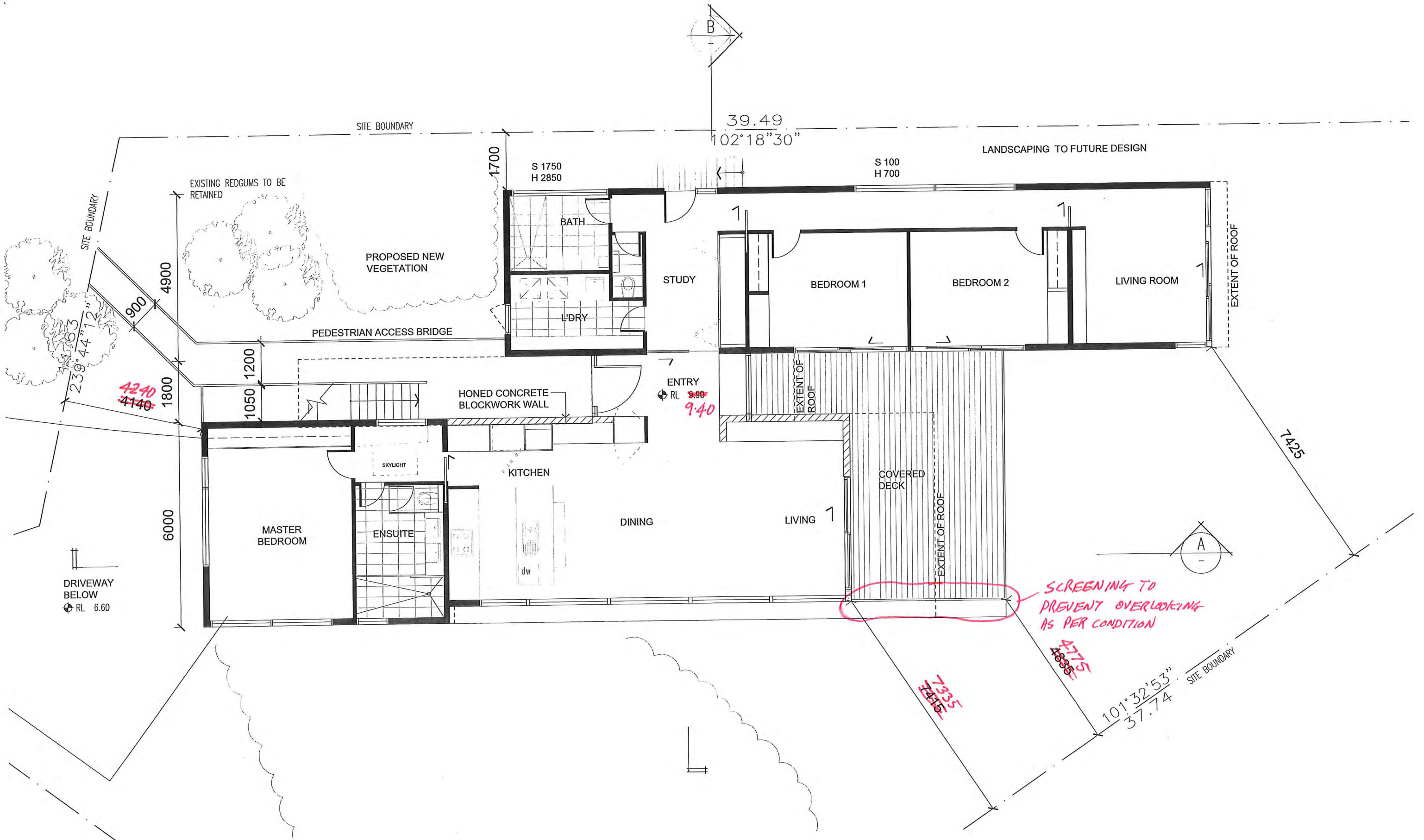
Rev. No.	Date	Revision
01	30.05.13	Issued for Town Planning
02	12.08.13	Issued for Town Planning - Rev 2

Project
**PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY**

Drawing
LOWER GROUND FLOOR PLAN

Date	Scale	Sheet Size
30.05.13	1:100	@ A3

Drawing No.	Revision
TP02	02



North Point

0 2 4

Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

Rev. No.	Date	Revision
01	30.05.13	Issued for Town Planning
02	12.08.13	Issued for Town Planning - Rev 2

Project
PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY

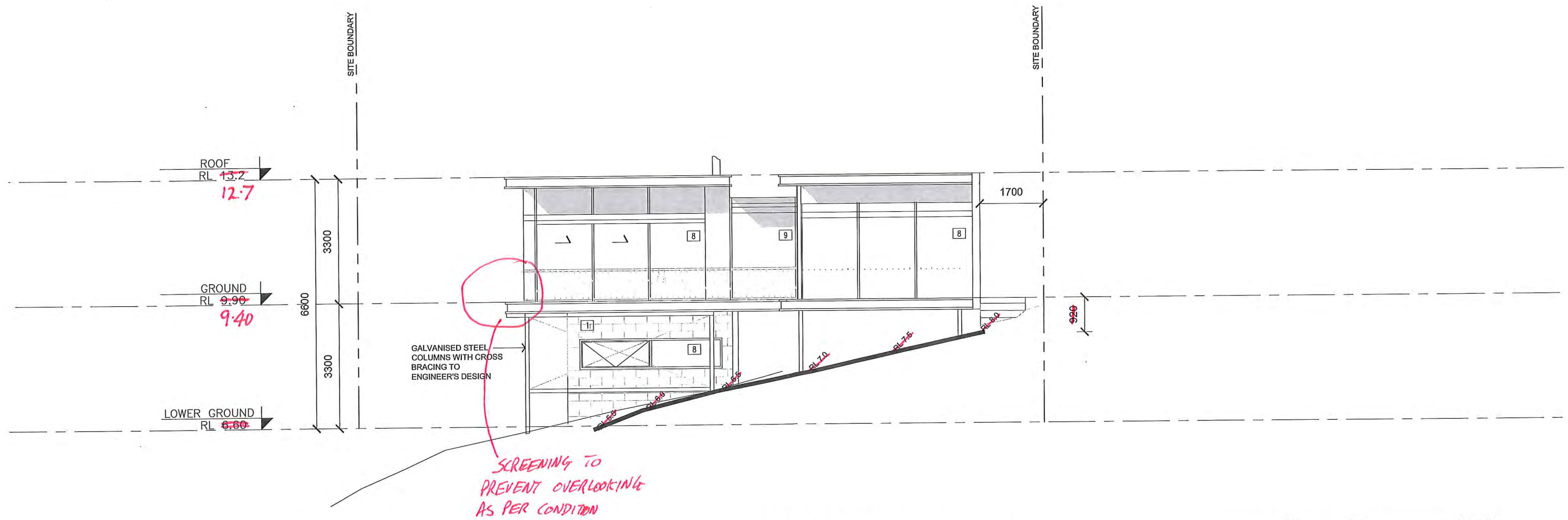
Drawing
GROUND FLOOR PLAN

Date	Scale	Sheet Size
30.05.13	1:100	@ A3

Drawing No.	Revision
TP03	02

EXTERNAL FINISHES

- 1 HONED CONCRETE BLOCKWORK
- 2 TIMBER CLADDING (HORIZONTAL BOARDS)
- 3 TIMBER SCREEN
- 4 ZINCALUME CLADDING DARK COLOUR VERTICAL JOINS
- 5 PAINTED ECO PLY DARK COLOUR
- 6 PAINTED ECO PLY LIGHT COLOUR
- 7 CORRUGATED SHEET METAL ROOFING GULL-GREY (NON-REFLECTIVE)
- 8 DOUBLE GLAZED WINDOW SYSTEM (GREY GLASS)
- 9 DOUBLE GLAZED WINDOW SYSTEM (CLEAR GLASS)



North Point



Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0410831712

Rev. No.	Date	Revision
01	30.05.13	Issued for Town Planning
02	12.08.13	Issued for Town Planning - Rev 2

By Chk.

Project

PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY

Drawing

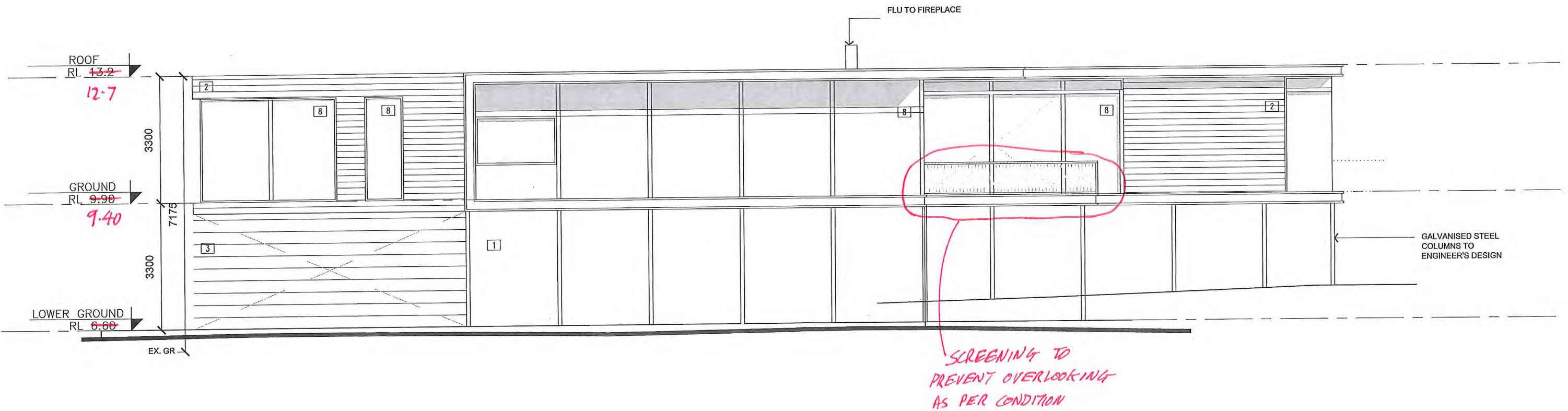
NORTH ELEVATION

Date 30.05.13 Scale 1:100 Sheet Size @ A3

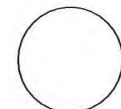
Drawing No. TP05 Revision 02

EXTERNAL FINISHES

- 1 HONED CONCRETE BLOCKWORK
- 2 TIMBER CLADDING (HORIZONTAL BOARDS)
- 3 TIMBER SCREEN
- 4 ZINCALUME CLADDING DARK COLOUR VERTICAL JOINS
- 5 PAINTED ECO PLY DARK COLOUR
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North Point



Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

0 2 4

Rev. No.	Date	Revision
01	30.05.13	Issued for Town Planning
02	12.08.13	Issued for Town Planning - Rev 2

By Chk.

Project

PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY

Drawing

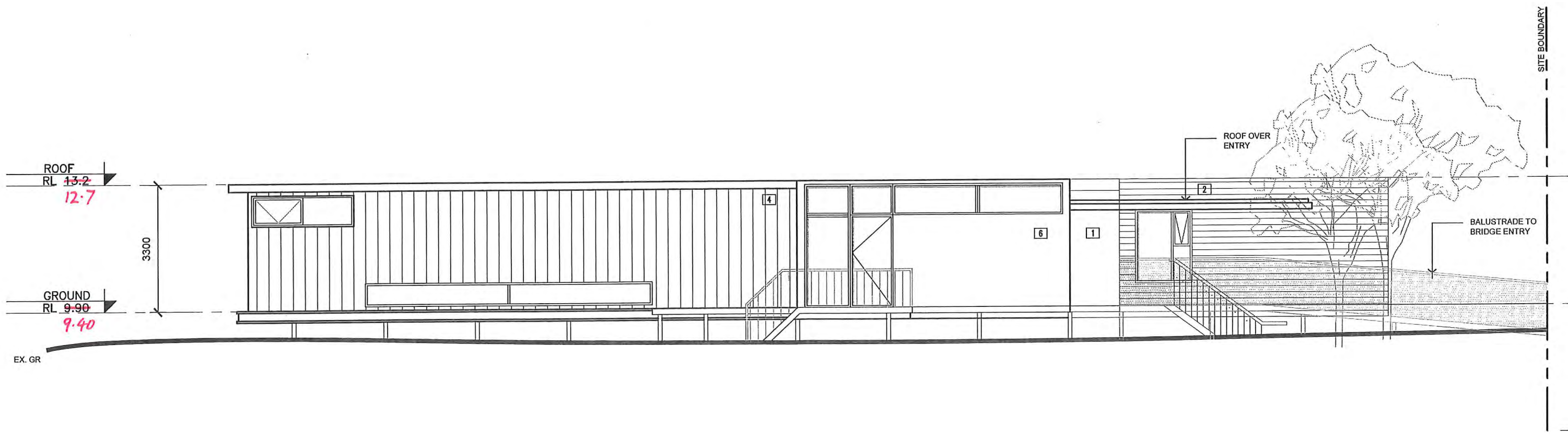
EAST ELEVATION

Date 30.05.13 Scale 1:100 Sheet Size @ A3

Drawing No. TP06 Revision 02

EXTERNAL FINISHES

1	HONED CONCRETE BLOCKWORK
2	TIMBER CLADDING (HORIZONTAL BOARDS)
3	TIMBER SCREEN
4	ZINCALUME CLADDING DARK COLOUR VERTICAL JOINS
5	PAINTED ECO PLY DARK COLOUR
6	PAINTED ECO PLY LIGHT COLOUR
7	CORRUGATED SHEET METAL ROOFING GULL-GREY (NON-REFLECTIVE)
8	DOUBLE GLAZED WINDOW SYSTEM (GREY GLASS)
9	DOUBLE GLAZED WINDOW SYSTEM (CLEAR GLASS)



North Point

Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

Rev. No.	Date	Revision	By	Chk.
01	30.05.13	Issued for Town Planning		
02	12.08.13	Issued for Town Planning - Rev 2		

Project
PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY

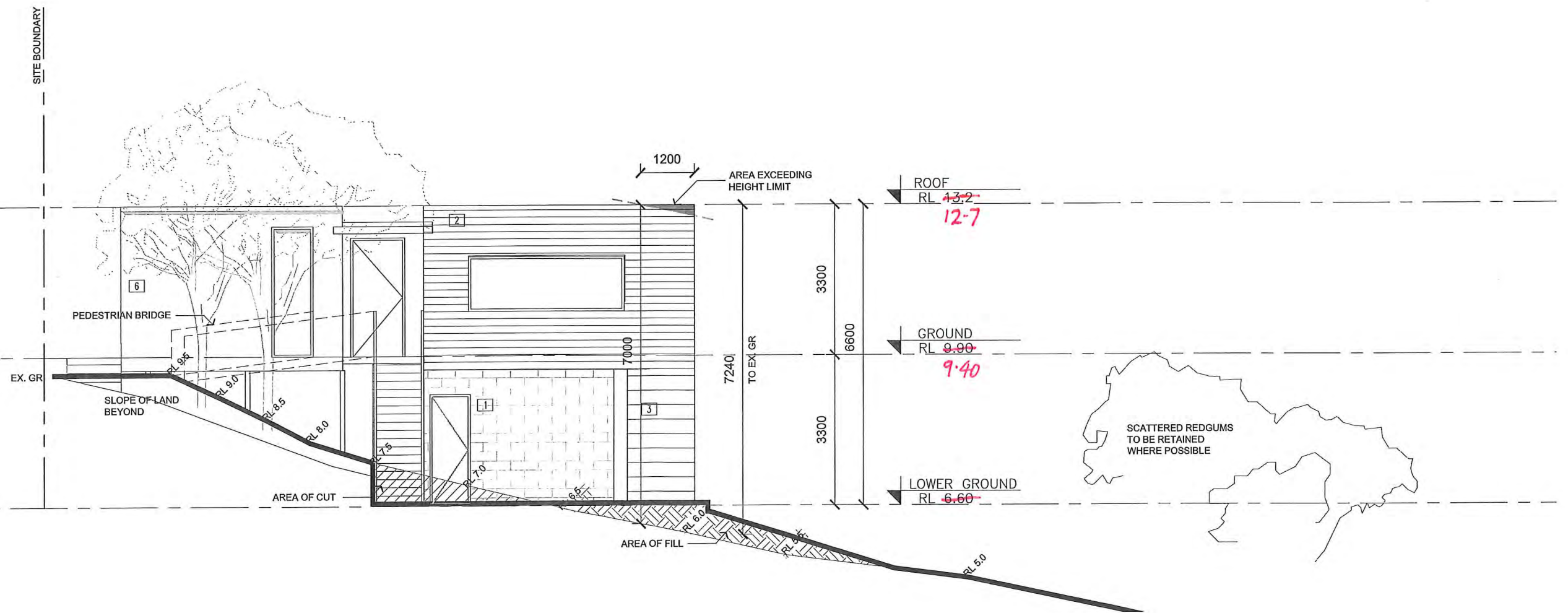
Drawing
WEST ELEVATION

Date	Scale	Sheet Size
30.05.13	1:100	@ A3

Drawing No.	Revision
TP07	02

EXTERNAL FINISHES

- 1 HONED CONCRETE BLOCKWORK
- 2 TIMBER CLADDING (HORIZONTAL BOARDS)
- 3 TIMBER SCREEN
- 4 ZINCALUME CLADDING DARK COLOUR VERTICAL JOINS
- 5 PAINTED ECO PLY DARK COLOUR
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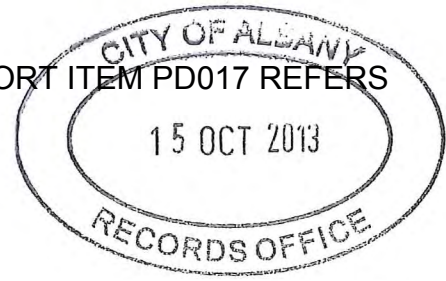
North Point

Mr & Mrs Jeffery
21 Bendigo Way
City Beach, Perth W.A.
mb 0419831712

Rev. No.	Date	Revision
01	30.05.13	Issued for Town Planning
02	12.08.13	Issued for Town Planning - Rev 2

By Chk. _____
 Project
PROPOSED NEW RESIDENCE
18 CALEDONIA CRESCENT, GOODE BEACH ALBANY
 Drawing
SOUTH ELEVATION

Date	Scale	Sheet Size
30.05.13	1:100	@ A3
Drawing No. TP05		Revision 02



New Text Document

18 Cresent,
Goode Beach
6330

Submission on development proposal at 18 Caledonia Cresent, Goode beach.

Dear Sir

In respect of the notice for planning consent for above property, we would like to object on the proposed access as shown on the site plan.

As we have limited room in front of our garage and cross-over, and we have to give public access to the footpath that runs up the side of our property, we are already restricted.

The distance from our southern boundry at the road to the nothern boundry of No.18 is approximately 29 metres and we like to propose an allocation on 50/50 basis onto the cul-de-sac for each property.

We would be happy to meet on site or at the shire offices to discuss this further. Feel free to call us on 984 or 04.

Yours sincerely

rd



City of Albany Records
Doc No: ICR13113894
File: A14136
Date: 15 OCT 2013
Officer: AOP1;MPS;SPLAN1
Fax: [blank]
Fax: [blank]
Fax+Voice: [blank]



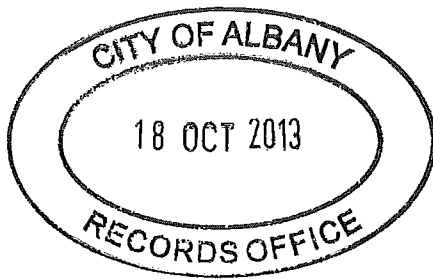
City of Albany Customer Service Item Receipt

Date: 14/10/2013 Time: 3:50 AM/PM No **01717**

Customer: _____

Description: PSC comment for
18 Caledonia Cres.

Deliver to REC T. Wenbourne Customer Service Officer: NR



Craig Pursey Planning Pty Ltd

14 October 2013



Development Services
City of Albany
PO Box 484
ALBANY WA 6331

City of Albany Records
ICR13114367
A14136
18 OCT 2013
AOP1;MPS;SPLAN1

Doc No:
File:
Date:
Officer:

Attach:
XX:
Yl:
XX+Vo:

Attention: Mr Tom Wenbourne

Dear Mr Wenbourne,

PROPOSED SINGLE HOUSE AT LOT 121 CALEDONIA CRESCENT, GOODE BEACH.

I am acting on behalf of the owner of Lot , in regard to the proposal for a Single House at Lot 121 Caledonia Crescent.

Firstly, thank you for the opportunity to view the full set of plans and information lodged by the proponent, it clarifies a number of issues that were not apparent from the information previously sent by the proponent.

_____ has a number of serious concerns with the proposed house, summarised as follows:

- The house exceeds the deem-to-comply criteria of the Residential Design Codes of WA in terms of height and privacy that will detrimentally impact on the enjoyment of their property and lifestyle;
- The development site is sloping and has areas of granite, the development will necessitate clearing of the existing vegetation, there is the threat of increased runoff and erosion impacting Lot 130 and there are concerns about how the effluent will be addressed; and
- Major concern with the impact on her amenity in terms of looking up at the underside of a house and the potential for an increase in noise levels from another neighbour.

Each of these issues is described in more detail below.

Application Details

The information submitted with the application has a number of incorrect statements that I would like to point out so as to inform my further comments below:

- The R-Code density is applied by the Scheme on the Scheme Map and not by reference to the lot size. In this instance the R5 density applies as per clause 5.8 of the Scheme Text. This same clause establishes the front setback requirements.
- There are definitely 'outdoor living areas' on both 33 Karrakatta Road and Lot 120 Caledonia Crescent worth considering.

Privacy

The rear of 33 Karrakatta Road is currently the only useable private open space; being screened from the road and sheltered from prevailing breezes. This area is used for most outdoor entertaining.

The proposed house at Lot 121 Caledonia Crescent looks directly down into this outdoor living area from a covered deck area and possibly other habitable spaces within the proposed house.

As the deemed-to-comply provisions of the Residential Design Codes of WA (R-Codes) have not been met in this instance; compliance with the design principles is required for this element.

The applicable design principles at '5.4.1 Visual privacy - P1.1 & P1.2' include:

"minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:

- *building layout and location;*
- *design of major openings;*
- *landscape screening of outdoor active habitable spaces; and/or*
- *location of screening devices.*

In this case the proponent appears to have simply proposed that existing vegetation will screen this area. This is clearly inadequate for the following reasons:

- Vegetation is impermanent and is visually permeable;
- Additional vegetation will take some time to grow to a height that would be of any use in this location;
- The proponent of the proposed house has already requested that _____ reduce the height of the existing trees in her back yard in the past. _____ does not have any security that the existing vegetation will be retained in the long run; and
- Given the shallow soils, need to accommodate drainage and effluent disposal and the difficult building conditions there is no guarantee that the proponent will retain any vegetation on their property. This leaves the burden of screening the proposed house on the neighbour and their existing trees. The proponent of the house should bear this burden and put more permanent screening measures in place to prevent overlooking of Lot 130.

The proposed house design looms over the back yard of Lot 130. Added to the overlooking is the building bulk and presence of this building impinging on the use of the outdoor living area. There will undoubtedly be the feeling of being 'watched from on high' when using this area and so any controls or assistance in reducing or removing this affect would be appreciated.

Height

It is noted that the proposed house exceeds the deemed-to-comply provisions of the R-Codes by 0.5m (assuming that the contours are correct on the plans submitted). Any relaxation of the usual height restrictions on this lot will have a detrimental impact on Lot 130.

Lot 130 already has a large house immediately to the north and the addition of another house behind, looming over the top of the existing house at Lot 130 needs careful consideration.

The proposed house already presents a wide bulky frontage when viewed from below. Any additional height than strictly permitted will increase that building bulk and sense of being crowded in upon.

Stormwater & Effluent Disposal

Lot 121 is currently vegetated, has shallow soils and has a number of expressions of granite; it will be a difficult site for any builder. It will be difficult to deal with drainage issues and provide appropriate effluent disposal measures without the import of some fill and clearing vegetation.

It will be extremely difficult to control stormwater runoff on this site and there are concerns in the immediate locality that stormwater may cause erosion and damage to neighbouring properties if not addressed comprehensively at the planning level.

It is questioned if there is an appropriate location for septic tanks or ATU on Lot 121 given the shallow soils and granite. If fill is required to allow for this we would want to comment on any retaining or impact fill would have on Lot 130 when viewed from below. It is important to retain visual impression of natural level of site at all times.

Noise

Unfortunately _____ has had well documented, major issues with the house immediately to the north in the past. It is a pole home and the noise generated from people just walking around impacts on the enjoyment of the existing house at Lot 130. There was no screening of the underside of the house and no underfloor insulation that would deaden noise generated from the adjoining pole home.

It is seriously concerning to _____ that another pole home is proposed to the rear of her home. There is every chance that this will exasperate the current issues with noise coming in stereo from both adjoining neighbours.

Please address this issue in your assessment upfront on this occasion; it will save a lot of trouble further down the track for all parties.

Amenity

When viewed from the existing outdoor living area at Lot 130, all that will be seen of the proposed house on lot 121 is the underside of a large pole home with its services and any storage the owner will use this space for.

Screening of the underside of the house is absolutely necessary in this instance to soften the look of the proposed house when viewed from below and to assist with (but probably not resolve) any acoustic issues.

CONCLUSION

Please accept this submission and objection to elements of the proposed Single House at Lot 121 Caledonia Crescent, Goode Beach. The owner of Lot 130 (Goode Beach) has valid and serious concerns with the proposed house that they would like the City of Albany to consider in their decision making.

The height of the building needs to be kept to a minimum, privacy concerns addressed in a permanent manner, stormwater runoff controlled and most importantly the underside of the proposed house designed appropriately. Further noise and building bulk will have a major detrimental impact on Lot 130.

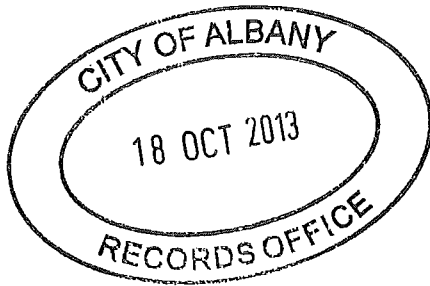
There is an existing two storey pole home that has impacted upon the enjoyment of Ms Wright's home, encroaching on the privacy of her outdoor living area and causing noise issues. Please act to prevent another pole home compounding the current issues.

If you require any additional information or wish to discuss this further please do not hesitate to contact me on 0458 705 283.

Yours sincerely



Craig Pursey
Craig Pursey Planning Pty Ltd



Craig Pursey Planning Pty Ltd

14 October 2013



Development Services
City of Albany
PO Box 484
ALBANY WA 6331

City of Albany Records
Doc No: ICR13114368
File: A14136
Date: 18 OCT 2013
Officer: AOP1;MPS;SPLAN1

Attention: Mr Tom Wenbourne

Attachment:
DX
JL
DX+Vol

Dear Mr Wenbourne,

PROPOSED SINGLE HOUSE AT LOT 121 CALEDONIA CRESCENT, GOODE BEACH.

I am acting on behalf of the owners of Lot 120 Caledonia Crescent, in regard to the proposal for a Single House at Lot 121 Caledonia Crescent.

The owners of Lot 120 have a number of serious concerns with the proposed house, summarised as follows:

- The front setback does not appear to meet the requirements of Town Planning Scheme No.3; and
- The house exceeds the deem-to-comply criteria of the Residential Design Codes of WA in terms of height, privacy and setbacks to boundaries that will detrimentally impact on the enjoyment of their property, lifestyle and views.

Each of these issues is described in more detail below.

Application Details

The information submitted with the application has a number of incorrect statements that I would like to point out so as to inform my further comments below:

- The R-Code density is applied by the Scheme on the Scheme Map and not by reference to the lot size. In this instance the R5 density applies as per clause 5.8 of the Scheme Text. This same clause establishes the front setback requirements.
- There are 'outdoor living areas' on both 33 Karrakatta Road and Lot 120 Caledonia Crescent worth considering.

Front Setback

The City of Albany Town Planning Scheme No.3 (the Scheme) requires a setback of 7.5m, with no averaging applicable.

The current application proposes a minimum setback of 4.2m.

There is little development forward of the 7.5m front setback in Goode Beach, with the exception of separate garages and carports. If the house was moved back to the required 7.5m it may increase the chances of being able to lower the house in the landscape as there will be a more gradual approach from the street. Currently there is a walkway/bridge proposed to access the house from the street.

All structures forward of the usual building line may affect views from Lot 120.

Lastly, the house moving forward of the usual front setback reduces the manoeuvring space and increases the risk of the proponent building a driveway over the drainage easement that runs alongside Lot 121 that currently operates as a pseudo walkway for the residents of Goode Beach.

Privacy

In October 2010 the owners of Lot 120 applied for a retaining wall and garage on the common boundary between Lots 120 and 121. Unfortunately, the result of subsequent negotiations and decisions by SAT left Lot 120 developed with an open carport and open pool style fence along the common boundary.

As the boundary between these land parcels is now open and visually permeable, the proposed development on lot 121 has an increased potential for overlooking and invasion of privacy. Whilst the previous approval required screening vegetation along this boundary I believe that it anticipated screening development at natural ground level on Lot 121, not the current proposal.

The deemed-to-comply provisions of the privacy element of the R-Codes have not been met in the current proposal. The proposed house appears to be higher than 500mm from natural ground level (NGL) even at its lowest point.

The finished floor level of the proposed house sits level with the retaining wall on the common boundary and, as an open style fence was a requirement of previous approvals, causes increased potential for overlooking of outdoor living areas. Additionally, the car port on Lot 120 is open in nature (again, as required by previous approvals) and development on Lot 121 will have a clear view of the entry to the existing house at Lot 120.

The owners of Lot 120 have concerns with overlooking of the approaches to their house, the front verandah area and their private garden areas.

If the house was lowered by 1.0m to have the rear of the house at or close to NGL then the privacy element of the R-Codes may not be triggered and there would be less impact on the enjoyment of Lot 120.

Two photographs are appended to this submission showing the potential for overlooking and the benefits of dropping the development closer to natural ground level.

Height

It is noted that the proposed house exceeds the deemed-to-comply provisions of the R-Codes by 0.5m. Any relaxation of the usual height restrictions on this lot will have a detrimental impact on Lot 120.

The plans submitted appear to imply that the impact of only the portion of the house that exceeds 7.0m should be considered. The R-Codes require that once the deemed-to-comply criteria are exceeded assessment against the design principles is required. The R-Codes

expressly state that "...the decision-maker, in its assessment of a proposal that addresses the design principle(s), should not apply the corresponding **deemed-to-comply** provision(s)".

As with all properties in Goode Beach, Lot 120 enjoys views of King George Sound. The applicable 'design principles' for the height element include buildings that have no adverse impact on the amenity of adjoining landowners and maintain 'access to views of significance'. The proposed house should be kept as low in the landscape as possible to reduce its impact on the views enjoyed from all parts of Lot 120.

There is also the consistency of scale of all development in Goode Beach to consider. Few, if any houses, appear to exceed the maximum 'deemed-to-comply' height provisions of the R-Codes and have their floor level great than the houses below.

There seems to be simple measures that the proponent could put in place to reduce the height of the proposed house by 1.0m and therefore meet all usual R-Code requirements.

Additionally, any external fittings such as solar hot water systems, satellite dishes, etc will have an impact on the views from Lot 120. Element 5.4.4 of the R-Codes requires that these fittings are supposed to be located in a manner that 'protects the amenity of residents in neighbouring properties'.

The proponent indicated that as they were proposing a flat roof they would have less impact on the views from Lot 120 than if they proposed a pitched roof. This argument is flawed; there is no approval in place for any roof. All development must comply with the deemed-to-comply requirements of the R-Codes in the first instance. The proponent has chosen a flat roof style to go with the style of their house; if a pitch was proposed then the impact of this proposal would be assessed.

The finished floor level of the proposed house appears to sit level with the top of the retaining wall recently completed by the owner of Lot 120. As an open style pool fence was a stipulation of recent approvals it makes the house clearly visible from top to bottom when viewed from anywhere on Lot 120.

If the FFL was dropped by 1.0m at least part of the house would be obscured by the existing retaining and the views protected to a greater extent.

Other

Lot 121 is currently vegetated and has a number of expressions of granite; it will be a difficult site for any builder. It will be difficult to deal with drainage issues and provide appropriate effluent disposal measures without the import of some fill and clearing vegetation.

It will be extremely difficult to control stormwater runoff on this site and there are concerns in the immediate locality that stormwater may cause erosion and damage to neighbouring properties if not addressed comprehensively at the planning level.

CONCLUSION

Please accept this submission and objection to elements of the proposed Single House at Lot 121 Caledonia Crescent, Goode Beach. The owners of Lot 120 Caledonia Crescent have some serious concerns with the proposed house that they would like the City of Albany to consider in their decision making.

The height of the house is unacceptable in a locality where the view to King George Sound and Goode Beach is one of the primary reasons for living in this area and privacy issues, caused in part by past decisions, require addressing.

We respectfully ask that the Development Services team considers requiring the house to be 1.0m lower or at least brought closer to natural ground level, that the house is moved down-slope and that they ensure that there is no potential for overlooking any part of the private garden areas and access to the existing house on Lot 120.

If you require any additional information or wish to discuss this further please do not hesitate to contact me on 0458 705 283.

Yours sincerely

Craig Pursey
Craig Pursey Planning Pty Ltd



Mr Jeffery's has a clear view from ground level into our property with a directly line of sight to our external veranda.

The finished floor level of the proposed house maybe as high as the top of this retaining wall dramatically increasing the potential for overlooking.

Visual impact reduced if house foundations are lower 1metre



Lowering the house will increase the screening and add to the privacy between dwellings

TEMPORARY CARAVAN ACCOMMODATION

Objective:

To provide guidelines for landowners seeking to live on their property whilst constructing their permanent dwelling.

Definition

'Temporary Caravan Accommodation' refers to owners of land living for a limited time period, within a caravan at their property where their dwelling is being constructed.

Policy Provisions

1. Temporary Caravan Accommodation is not permitted unless Planning Consent to it is granted by the City.
2. Temporary Caravan Accommodation may be considered for properties greater than 4000m² in area and zoned:
 - a. Rural;
 - b. Special Rural; or
 - c. Special Residential.
3. The applicant must hold a current building permit for the construction of a dwelling on the property prior to the approval being considered.
4. Temporary Caravan Accommodation is limited to a period of one (1) year.
5. Temporary Caravan Accommodation will only be permitted in a caravan and not an outbuilding and the following additional conditions apply:
 - a. The caravan must remain in a condition that readily permits its removal from the site at all times;
 - b. Sleeping and cooking activities must be confined to the caravan;
 - c. Toilet, bathroom and laundry facilities must be provided to the minimum health standards required by the Building Code of Australia and the Health Act. These facilities may be in a shed constructed on-site and alongside which the caravan is parked; and
 - d. All facilities must be inspected before occupation of the temporary accommodation.
6. All ablution facilities must be connected to an on-site sewage treatment and effluent disposal system approved by the City.
7. Council reserves the right to revoke an approval notice for Temporary Caravan Accommodation if it is at any time dissatisfied with the rate of progress of the dwelling, with the amenity of the site or the general terms of the approval not being complied with.
8. Neighbouring properties are to be invited to make comment on a proposal for temporary accommodation. Any opposing comments are to be referred to the Council for deliberation.
9. During the construction of a dwelling, temporary fencing is to be erected around the building site.

RELOCATED DWELLINGS

Objective:

To ensure that relocated (second hand) dwellings are constructed in keeping with the character of existing dwellings in the street.

Definition

“Relocated Dwelling” means a dwelling which has been previously constructed on a building site whether within the district or elsewhere whether occupied or not.

Policy Provisions

1. Relocated dwelling is not permitted unless planning consent to it is granted by the City.
2. Relocated dwelling(s) may be considered in the following zones:
 - a. Residential;
 - b. Tourist Residential;
 - c. Central Area;
 - d. Yakamia Creek;
 - e. Rural;
 - f. Future Urban;
 - g. Residential Development;
 - h. Special Rural;
 - i. Special Residential;
 - j. Conservation;
 - k. Rural village;
 - l. General Industry; and
 - m. Light Industry.
3. Planning consent shall be obtained before the dwelling can be relocated onto any property. Any application shall be accompanied by:
 - a. relevant application fee;
 - b. photographs of the front, rear and side of the dwelling;
 - c. a proposed site/location plan;
 - d. floor plan; and
 - e. redevelopment details (eg. building materials to be used – wall cladding).
4. The application/owner is to provide a bond/bank guarantee as surety for the completion of the relocated dwelling to a standard of presentation acceptable to Council. This shall be a minimum of \$10,000. Council will release the bond/bank guarantee in full upon being satisfied that the building is completed to a suitable standard.
5. All works required to be undertaken to the relocated dwelling by the terms and conditions of the City’s planning and building approvals must be completed within twenty four (24) months of the dwelling being placed on the new site.
6. Removal of asbestos materials from dwellings is to be carried out prior to relocating the dwelling (refer to Health (Asbestos) Regulations 1992).
7. The external surfaces of the dwelling shall be re-clad in materials similar to existing dwellings in the neighbourhood. Where existing dwellings are brick developed, the City may support a combination of materials inclusive of brick (eg. brick and/or timber/gyprock horizontal cladding and/or custom orb or trimdeck cladding).

HOLIDAY HOMES

Objective:

To encourage good quality, well managed holiday accommodation for use by short-term visitors generally in locations that will enhance the tourism experience while minimising potential impacts on adjoining residents.

Definition

“Holiday Home” means a single house (includes ancillary accommodation unit), used for short stay accommodation for no more than six people (does not include a bed and breakfast or lodging house).

Policy Provisions

1. A Holiday Home is not permitted unless planning consent to it is granted by the City.
2. Holiday Home may be considered in the following zones:
 - a. Residential;
 - b. Tourist Residential;
 - c. Central Area;
 - d. Yakamia Creek;
 - e. Rural;
 - f. Future Urban;
 - g. Residential Development;
 - h. Special Rural;
 - i. Special Residential;
 - j. Conservation; and
 - k. Rural village.
3. A management statement shall be submitted to address matters including:
 - a. Effective on-going management.
 - i. The responsibility for appropriate on-going management rests with the proponent to ensure that visitors are responsible and do not create inappropriate impacts (including noise) to adjoining/nearby properties. Suitable on-going management can be more difficult if owners live a considerable distance from the application site. Accordingly, as part of the planning application, the local government will require the proponent to outline how the site will be managed, especially if the owners do not live nearby.
 - b. The amenity of adjoining/nearby land uses;
 - i. managing noise impacts of visitors;
 - ii. the submission of a code of conduct for guests which shall, amongst others, list what is considered acceptable and unacceptable behavior;
 - iii. outlining how the premises will be managed on a day-to-day basis (including how keys are easily available for late entry, providing onsite assistance and confirming arrangements for cleaning/waste management);
 - iv. relevant site specific matters including fire management/emergency response plans for visitors and managing risks for visitors; and
 - v. the handling of complaints (it is expected that the tenant be contacted by phone immediately and the proponent or their representative visit the property, preferably within 12 hours).
4. Where a neighbour objects to a proposal, the application is to be referred to the Council for deliberation and considered in view of the following:
 - a. The proximity of the holiday home to key tourism attractions such as the beach or town centre/activity centre (typically a 5 minute walk – 400m);
 - b. location within a street(s) which facilitates safe, efficient and pleasant walking, cycling and driving;
 - c. location compatible with Figure A below (the areas illustrated are within close proximity to the town centre and popular swimming beaches).
5. All car parking is to be contained on-site and no verge area should be used for car parking. At

a minimum, it will be necessary to provide 2 on-site car parking bays for up to 6 guests. Tandem parking will only be permitted for a maximum of one vehicle behind another vehicle. It is common for holiday makers to have a boat, trailer, caravan etc. and there should be additional space allocated for such. All vehicle access (including crossovers) and car parking areas are to be sealed and drained to the approval of the local government.

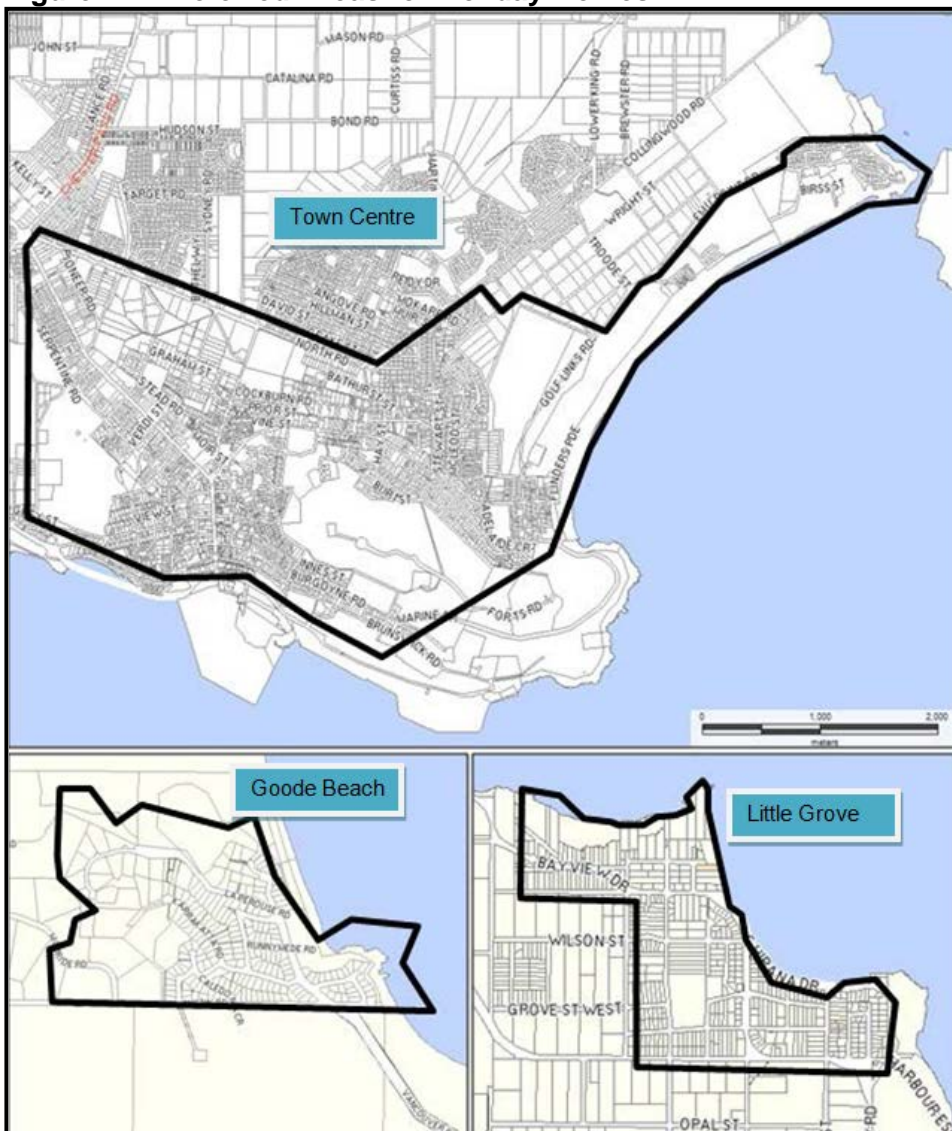
6. Holiday homes are restricted to a maximum number of 6 guests in order to protect the amenity of the residents in the vicinity. Where more than 6 guests are proposed, the premises is classified under the Health Act 1911 as a “lodging house”. A Lodging House shall be treated as a “Use Not Listed” under the provisions of the Scheme.
7. The maximum stay within a holiday home for any one person is restricted to 3 months within any 12 month period.
8. Operators must provide and maintain a register of all people who utilise the holiday accommodation during the year to Council’s satisfaction.

Advice

A new proprietor wishing to continue the use of the site for holiday accommodation will need to provide an updated management plan.

In-order for holiday home to revert back to permanent occupancy, a new Planning Scheme Consent will need to be lodged requesting approval for ‘Single Dwelling’.

Figure A – Preferred Areas for Holiday Homes



ANCILLARY ACCOMMODATION

Objective:

To accommodate housing demand, whilst minimising any adverse impacts on neighbours.

Definition

“Ancillary Accommodation” means self contained dwelling on the same lot as a single house, which may be attached to, integrated with or detached from the Single House (as per Residential Design Codes).

Policy Provisions

1. Ancillary accommodation is not permitted unless planning consent to it is granted by the City.
2. Ancillary accommodation may be considered in the following zones:
 - a. Residential;
 - b. Tourist Residential;
 - c. Central Area;
 - d. Yakamia Creek;
 - e. Rural;
 - f. Future Urban;
 - g. Residential Development;
 - h. Special Rural;
 - i. Special Residential;
 - j. Conservation; and
 - k. Rural village.
3. A maximum of one (1) ancillary accommodation unit may be considered per Single House.
4. Ancillary accommodation is to be located either alongside or to the rear of the existing residence.
5. A maximum internal floor area of 70m² (not inclusive of a garage or carport) for an ancillary accommodation unit applies.
6. The unit shall be connected to the same effluent disposal system as the main dwelling. Where the applicant proves this to be physically impossible, Council may support a second effluent disposal system.
7. One additional car space is to be provided in addition to the two spaces required for the main dwelling.
8. The lot is to be greater than 450m².
9. The finish, materials and colours used in construction of the ancillary accommodation shall be visually sympathetic to that of the main dwelling.

TEMPORARY ACCOMMODATION

Objective:

To provide guidelines for landowners seeking to live on their property whilst constructing their permanent housing.

Policy Provision

1. Temporary Accommodation is not permitted unless planning consent to it is granted by the City. The applicant must hold a current building permit for the construction of a dwelling on the property prior to the approval being considered.
2. Temporary accommodation is limited to a period of one (1) year
3. Approval for temporary occupation will only be granted for properties greater than 4000m² in area.
4. Temporary accommodation may be considered in the following zones:
 - a) Rural;
 - b) Special Rural;
 - c) Special Residential;
 - d) General Industry; and
 - e) Light Industry.
5. Temporary accommodation will only be permitted in a caravan that must remain in a condition that readily permits its removal from the site at all times. Sleeping and cooking activities must be confined to the caravan.
6. Toilet, bathroom and laundry facilities must be provided to the minimum health standards required by the Building Code of Australia and the Health Act. These facilities may be in a shed constructed on-site and alongside which the caravan is parked. All facilities must be inspected before occupation of the temporary accommodation.
7. All ablution facilities must be connected to an on-site sewage treatment and effluent disposal system approved by the City.
8. The applicant must complete a Temporary Accommodation Agreement Deed (**see Appendix 1**) and pay the applicable fee which must be paid on a pro-rata basis up to June 30 of that year.
9. Council reserves the right to revoke temporary occupation permission if it is at any time dissatisfied with the rate of progress of the dwelling, with the amenity of the site or the general terms of the approval not being complied with.
10. Neighbouring properties are to be invited to make comment on a proposal for temporary accommodation.
11. During the construction of a dwelling, temporary fencing is to be erected around the building site.

APPENDIX 1:

DEED OF AGREEMENT FOR TEMPORARY CARAVAN ACCOMMODATION

This is a formal Deed of Agreement between the City of Albany and the applicant(s) to reside on their property in approved temporary caravan accommodation while their permanent dwelling is being constructed on the same land.

APPLICANT(S):.....

ADDRESS:

.....

.....

TELEPHONE NO:

BUILDING LICENCE NUMBER OF PERMANENT DWELLING:

ADDRESS OF PROPERTY FOR PROPOSED TEMPORARY CARAVAN ACCOMMODATION:

.....

.....

REASON FOR REQUEST:

.....

.....

.....

PROPOSED TIMEFRAME FOR BUILDING CONSTRUCTION OF DWELLING:

.....

.....

.....

TYPE OF CARAVAN TO BE USED (INCLUDE LICENCE NUMBER, SIZE AND MAKE OF CARAVAN):

.....
.....
.....

I/WE.....

Of.....

.....
.....

have applied to the City of Albany for Temporary Caravan Accommodation during the construction phase of a permanent dwelling on that land.

I/We understand fully the terms and conditions of this Agreement and Guidelines for Temporary Caravan Accommodation and accept them completely.

Further, I/We will vacate and remove the temporary caravan accommodation if instructed by a Council Environmental Health Officer due to a lack of sufficient building progress as outlined in the Guidelines and where there is non-compliance with any conditions of approval, or if I/We have remained in temporary caravan accommodation for a greater period than approved by Council or the Minister for Local Government.

If in the event I/We do not vacate and/or remove the temporary caravan accommodation as instructed by a Council Environmental Health Officer, I/We permit the Council to undertake this removal at my/our cost.

Signed:

Date:

Signed:

Date:

RELOCATED DWELLINGS

Objective:

To control the quality of second-hand dwellings within the City and ensure that they are refurbished in a timely manner.

Definitions

“Relocated Dwelling” means a dwelling which has been previously constructed on a building site whether within the district or elsewhere whether occupied or not (as per definition within Town Planning Scheme No. 3).

Policy Requirements

- 1) Relocated dwelling is not permitted unless planning consent to it is granted by the City.
- 2) Relocated dwelling(s) may be considered in the following zones:
 - a) Residential;
 - b) Tourist Residential;
 - c) Central Area;
 - d) Yakamia Creek;
 - e) Rural;
 - f) Future Urban;
 - g) Residential Development;
 - h) Special Rural;
 - i) Special Residential;
 - j) Conservation;
 - k) Rural village;
 - l) General Industry; and
 - m) Light Industry.
- 3) Planning consent shall be obtained before the house can be relocated onto any property. Any application shall be accompanied by:
 - a) relevant application fee;
 - b) photographs of the front, rear and side of the dwelling;
 - c) a proposed site location plan;
 - d) floor plan; and
 - e) redevelopment details (eg. building materials to be used – wall cladding).
- 4) All works required to be undertaken to the relocated dwelling by the terms and conditions of the City’s planning and building approvals must be completed within twelve (12) months of the dwelling being placed on the new site.
- 5) Removal of asbestos materials from dwellings is to be carried out prior to relocating the dwelling in compliance with Health (Asbestos) Regulations 1992.
- 6) The external surfaces of the dwelling shall be re-clad in materials similar to existing dwellings in the neighbourhood. Where existing dwellings are brick developed, the City may support a combination of materials inclusive of brick (eg. brick and/or timber/gyprock horizontal cladding and/or custom orb or trimdeck cladding).
- 7) As a relocated second-hand dwelling is considered a new building under the Building Code of Australia, it is required to meet the energy efficiency requirements for Climate Zone 6 contained in the Building Code of Australia.

HOLIDAY HOMES

Objective:

To encourage good quality, well managed holiday accommodation for use by short-term visitors generally in locations that will enhance the tourism experience while minimising potential impacts on adjoining residents.

Definitions

“Holiday Home” means a single house (includes ancillary accommodation unit), used for short stay accommodation for no more than six people (does not include a bed and breakfast or lodging house).

Policy Requirements

General

- 1) Holiday Home is not permitted unless planning consent to it is granted by the City.
- 2) Holiday Home may be considered in the following zones:
 - a) Residential;
 - b) Tourist Residential;
 - c) Central Area;
 - d) Yakamia Creek;
 - e) Rural;
 - f) Future Urban;
 - g) Residential Development;
 - h) Special Rural;
 - i) Special Residential;
 - j) Conservation; and
 - k) Rural village.
- 3) Matters to be considered in assessing and determining applications include:
 - a) **Effective on-going management.**
 - o The responsibility for appropriate on-going management rests with the proponent to ensure that visitors are responsible and do not create inappropriate impacts (including noise) to adjoining/nearby properties.
 - o Suitable on-going management can be more difficult if owners live a considerable distance from the application site. Accordingly, as part of the planning application, the local government will require the proponent to outline how the site will be managed, especially if the owners do not live nearby.
 - o A management statement shall be submitted to address matters including:
 - the amenity of adjoining/nearby land uses;
 - managing noise impacts of visitors;
 - the submission of a code of conduct for guests which shall, amongst others, list what is considered acceptable and unacceptable behaviour;
 - outlining how the premises will be managed on a day-to-day basis (including how keys are easily available for late entry, providing onsite assistance and confirming arrangements for cleaning/waste management);
 - relevant site specific matters including fire management/emergency response plans for visitors and managing risks for visitors; and

- the handling of complaints (it is expected that the tenant be contacted by phone immediately and the proponent or their representative visit the property, preferably within 12 hours).
- b) **Neighbours comment.**
Where neighbours object, consider appropriate location and compatibility with the following;
 - close proximity to key tourism attractions such as the beach, town centre or rural areas;
 - within 400 metres (typically a 5 minute walk) of an activity centre;
 - within an interconnected network of streets which facilitates safe, efficient and pleasant walking, cycling and driving
 - The Figure A below, which is considered to be the most appropriate priority area for the establishment of holiday homes given these areas are within close proximity to the town centre and popular swimming beaches;
 - Compatibility with relevant local planning strategy;
 - the proximity of the premises to where a holiday maker would desire to stay - proponents should address this in their application.
- c) **Access and car parking.**
 - All car parking is to be contained on-site and no verge area should be used for car parking.
 - At a minimum, it will be necessary to provide 2 on-site car parking bays for up to 6 guests. Tandem parking will only be permitted for a maximum of one vehicle behind another vehicle.
 - It is common for holiday makers to have a boat, trailer, caravan etc. and there should be additional space allocated for such.
 - All vehicle access (including crossovers) and car parking areas are to be sealed and drained to the approval of the local government.
- d) **Number of guests.**
Holiday homes are restricted to a maximum number of 6 guests in order to protect the amenity of the residents in the vicinity. Where more than 6 guests are proposed, the premises is classified under the Health Act 1911 as a “*lodging house*”. A Lodging House shall be treated as a “Use Not Listed” under the provisions of Scheme No. 1A and 3.

Conditions of Approval

Council in considering a Holiday Home may impose conditions based on the following:

- 1) The maximum number of persons to be accommodated is restricted to 6 exclusive of the owner/operator.
- 2) The maximum stay for any one person is restricted to 3 months within any 12 month period.
- 3) Operators must provide and maintain a register of all people who utilise the holiday accommodation during the year to Council's satisfaction. A receipt book must be kept.
- 4) A new proprietor wishing to continue the use of the site for holiday accommodation will need to provide an updated management plan.

Advertising Requirements

The use 'Holiday Home' falls under the wider definition of 'Holiday Accommodation' which is a use that requires advertising under Town Planning Scheme No. 1A. Where the use is proposed within a residential zone there is a 21 day advertising period inviting comment from adjacent landowners in accordance with Council's Planning Processes Guidelines is required.

ANCILLARY ACCOMMODATION

Objective:

To accommodate housing demand, whilst minimising any adverse impacts on neighbours.

Definition

“Ancillary Accommodation” means self contained dwelling on the same lot as a single house, which may be attached to, integrated with or detached from the Single House (as per Residential Design Codes).

Policy Requirements

1. Ancillary accommodation is not permitted unless planning consent to it is granted by the City.
2. Ancillary accommodation may be considered in the following zones:
 - a. Residential;
 - b. Tourist Residential;
 - c. Central Area;
 - d. Yakamia Creek;
 - e. Rural;
 - f. Future Urban;
 - g. Residential Development;
 - h. Special Rural;
 - i. Special Residential;
 - j. Conservation; and
 - k. Rural village.
3. A maximum of one (1) ancillary accommodation unit may be considered per Single House.
4. Ancillary accommodation is to be located either alongside or to the rear of the existing residence.
5. A maximum internal floor area of 70m² (not inclusive of a garage or carport) for an ancillary accommodation unit applies.
6. The unit shall be connected to the same effluent disposal system as the main dwelling. Where the applicant proves this to be physically impossible, Council may support a second effluent disposal system.
7. One additional car space is to be provided in addition to the two spaces required for the main dwelling.
8. The lot is to be greater than 450m².
9. The finish, materials and colours used in construction of the ancillary accommodation shall be visually sympathetic to that of the main dwelling. Ancillary structures being designed so as to have the appearance of a habitable structure and not an outbuilding.

City of Albany

PO Box 484

Albany 6331

Sandra Tindale

PO Box 284

Albany DC 6331

My name is Sandra Tindale I am a fully qualified Diploma trained Early Childhood Educator with 25 Years experience in the child care industry and propose to operate a Family Day Care service from 118 Collingwood Road commencing on or around January 1st 2014.

Permanent residence at the property will be myself, fiancé and our 18 month old daughter. The service will operate from 7.30am-5.30pm daily. Parents will be instructed to stagger their drop-off and pick-up times to limit any chance of traffic congestion although there is adequate parking in the drive way for a total of 4 vehicles at any one time. Parents will also be instructed to not park on verges or adjoining properties.

The service will be licenced with the Child Care Lisencing Standards Unit and a membership will be held with the family day care scheme Nature Alliance who will regularly attend the property to monitor the care of children and ensure that all procedures, policies and regulations are adhered to. In line with these standards a maximum of 7 children (including my own) can attend at any time. Of these only 4 can be under the age of 4 years and the remaining 3 school age children who will only attend around school hours.

Acknowledging that this is a residential area the times that children will have access to the outside areas will be restricted to limit noise. These times will be between 9am and 11.30am then there is lunch and a quiet sleep time inside until approx. 2.30pm at which time we will be absent to attend schools for pick-ups. Children may then resume outside play after 3.30pm. These times may vary slightly due to weather conditions and school closing times etc.

Please contact myself if you should have any further enquiries with regard to this proposed service.



Sandra Tindale

6TH September 2013

The City of Albany
Planning Department
Po Box 484
ALBANY, WA 6331

Applicant: Sandra Tindale
Address: 118 Collingwood Rd ALBANY
Business: Family Day Care Service
Registering Service: Nature Alliance FDCS

Dear Sir/Madam,

APPLICATION TO OPERATE A FAMILY DAY CARE SERVICE

I wish to advise that Sandra Tindale is in the process of registering to operate a Family Day Care Service from the above mentioned property.

As part of that registration process, Nature Alliance Family Day Care Service requires that approval be granted by the relevant Local Government Authority that the applicant resides in. They cannot operate until your approval has been granted.

Nature Alliance is very stringent in following all regulations with regard to service operation and take great care to ensure that suitable applicants are registered with our service. Sandra is seeking your approval as an early part of our registration process as there is no point spending the funds on training and equipment if you find her residence unsuitable.

As you are aware, Family Day Care Services make up an important part of the Childcare Services in any area as parents often prefer a small group setting for their children. We often get calls from parents wanting Family Day Care in the area, but are unable to facilitate their requests. Sandra will hopefully be able to provide that care to the constituents of Albany.

I hope that you can assist with this matter and if further information is required or clarification needed, please don't hesitate to contact me on 0477 029 254.

Yours sincerely

Sue Robertson
Partner in Nature Alliance FDC.

Lexy Grover
5 Greenshields Street
ALBANY WA 6330

23 August 2013

S Tindale
14 Brady Corner
ALBANY WA 6330

Dear Sandy,

RE: 118 COLLINGWOOD ROAD, SEPPINGS, ALBANY WA

Pending completion and signing of the Fixed Term Tenancy Agreement, I wish to confirm our verbal agreement for you to have tenancy of the property at 118 Collingwood Road Albany, commencing 30 November 2013 for an initial period of 12 months.

Having discussed your intentions to apply for a licence to run a family daycare from the property, I can confirm my approval and support of your application. I also agree to you undertaking any minor improvements to the property, as discussed, in order for your application to meet licencing requirements.

Should you require any additional information please do not hesitate to contact me on 0439 904 027.

Yours sincerely,

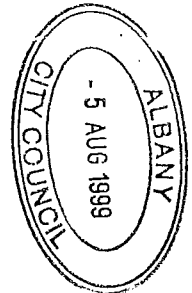


Lexy Grover

REFER TO
ATTACHED
CONDITIONS

CITY OF ALBANY
Approved in accordance with
the Building Regulations 1989
(as amended)
Building Surveyor
B.L.# 11022 Date 24/2/99

Identification Of Lot Boundaries
Is The Responsibility Of The
Owner And/Or Builder.

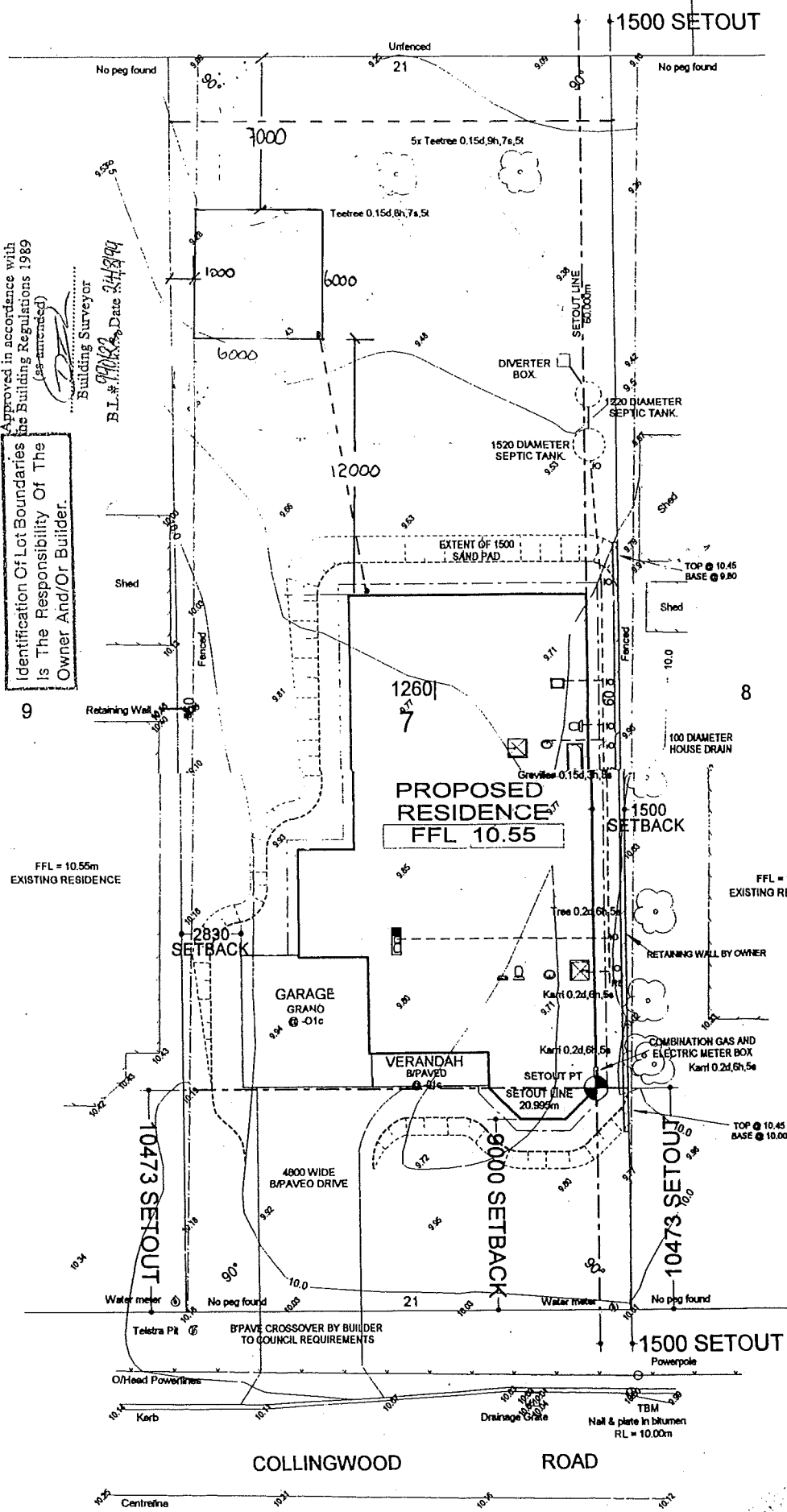


WATER CORPORATION
GREAT SOUTHERN REGION
ALBANY

This plan has been submitted for inspection and the location of the building approved.

Signature: *[Signature]*
Date: 5.8.99

- Sewer available and connected
- Sewer available but not connected
- Sewer not available
- Property less than 90m from sewer
- Service within 10 days

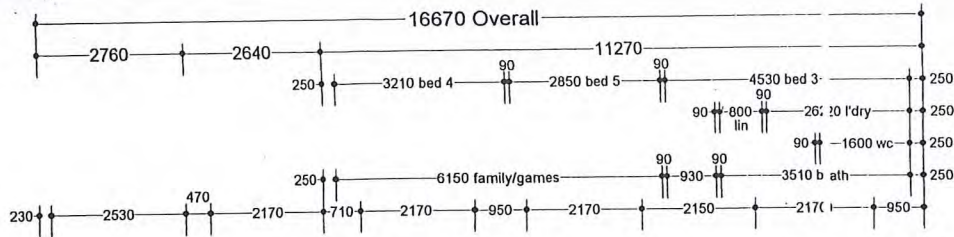


SETOUT LINE DIMENSIONS

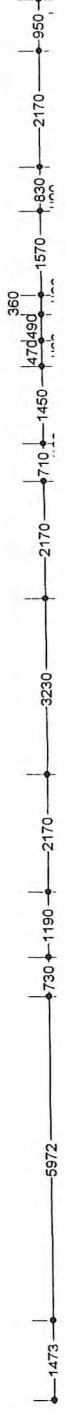
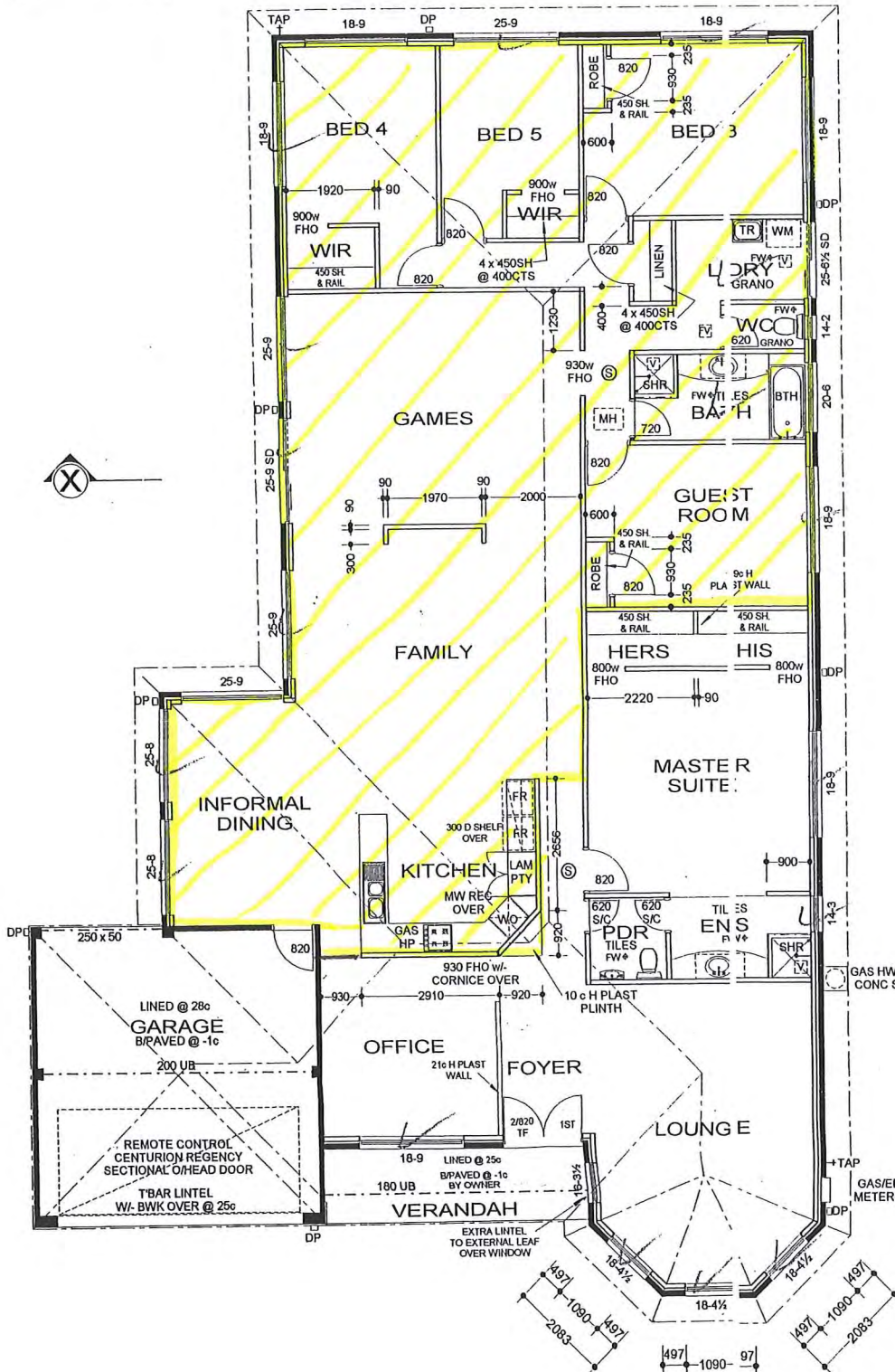
2830 16670 RESIDENCE 1500

SETOUT LINE CHECK TO SETOUT POINT

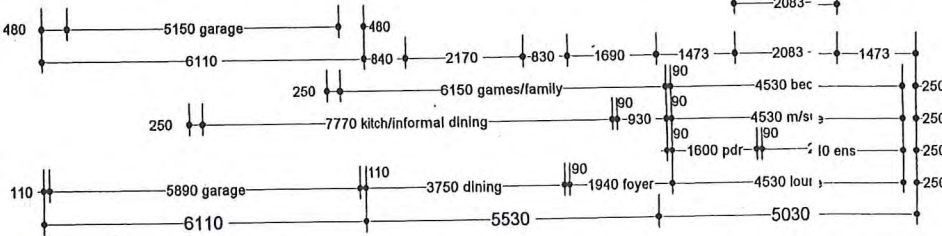
FINAL PLANS




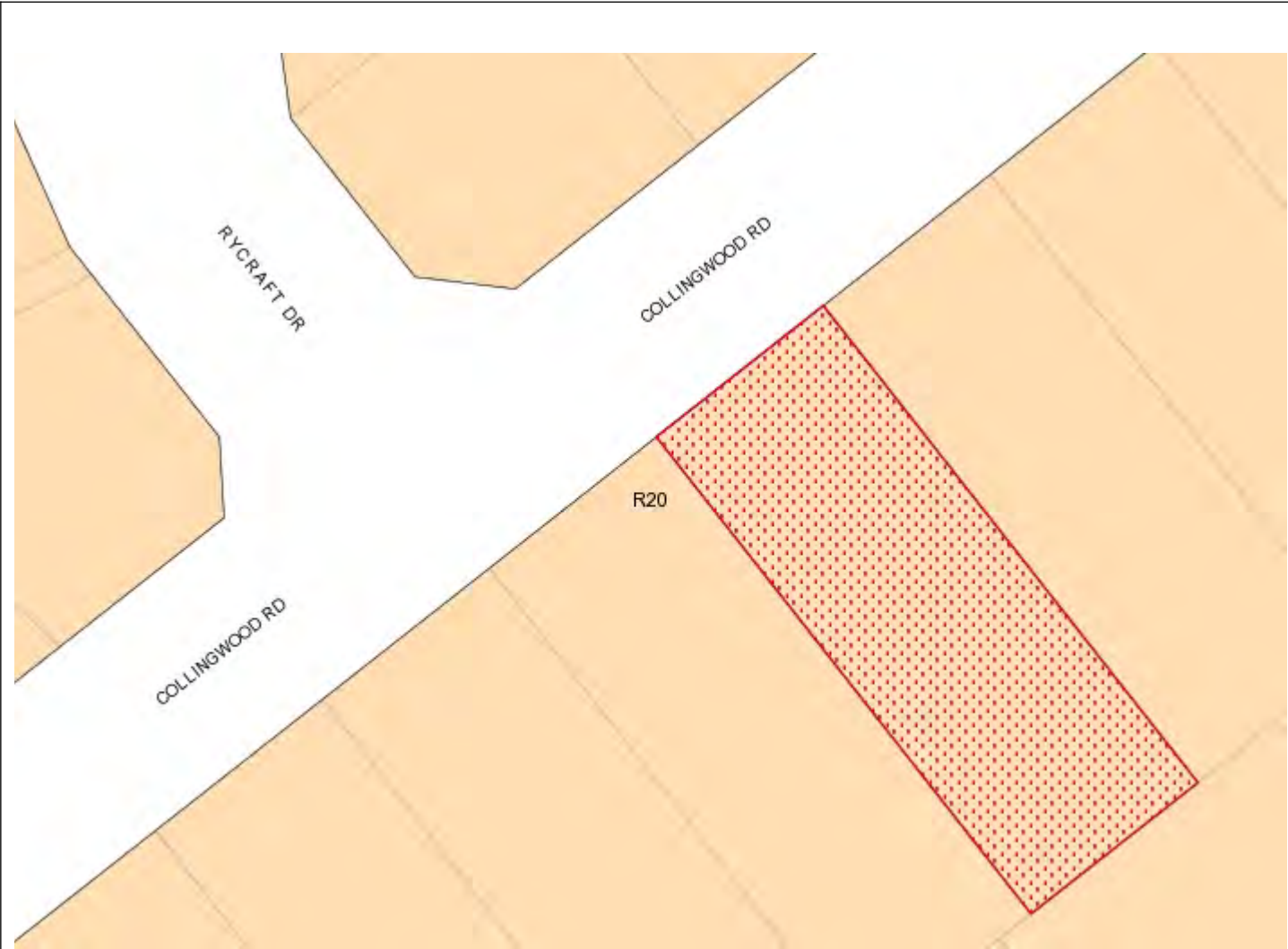
3
4



2
1



 Family Day Care lisencced areas.



Parcel	
PIN	585479
Legal Area	1260.00m ²
GoogleLink	Google StreetView
Locality	SEPPINGS
Ward	BREAKSEA WARD, ALBANY
Flood Risk	H
TPS Zoning	RESIDENTIAL
Scheme	1A
RCode	R20
CoA HERITAGE SITE	Not a City Heritage Site
CoA POLICY AREA	Not within a City Policy Area

Property	
Assess	A115594
Landgate PIN	585479
Synergy Parcel Details	N*SEPPINGS***7*2
Property Address1	118 COLLINGWOOD ROAD
Property Address2	SEPPINGS WA 6330
VG Number	816976
Certificate of Title	1587/677
Ward Name	BREAKSEA WARD



This map has been produced by the City of Albany using data from a range of agencies. The City bears no responsibility for the accuracy of this information and accepts no responsibility for its use by other parties

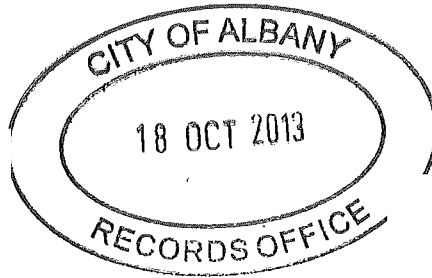
Thursday, 21 November 2013

1:894



REPORT ITEM PD020 REFERS





City of Albany Records
Doc No: ICR13114361
File: A115594
Date: 18 OCT 2013
Officer: AOP1:MPS

Attach:
Box:
Vol:
Box+Vol:

16 October 2013

Dear Julian

Re: NOTICE OF APPLICATION FOR PLANNING CONSENT
118 Collingwood Rd
SEPPINGS WA

Thank you for your letter dated 15 October 2013.

In response to the application for a Family Day Care at the above address, we ask you to consider our genuine concerns regarding general day to day running of this facility.

Our greatest concern being the fact that Collingwood Rd is a busy arterial road, with a speed limit of 60kph, that continues to constantly rise in the amount of traffic using this route. Of course before and after school naturally is the busiest time. This traffic flow already makes us entering onto Collingwood Rd a logistical effort. Although the proposed applicants have stated that parents will be asked to "stagger" their drop offs it is hard to imagine this will constantly be the case. It, as you would appreciate is of great importance that we have the clearest view either side of our property when we wish to leave. In view of the fact that in the enclosed letter of application it was deemed necessary to address the issue of "staggered drop offs", this would suggest the applicant also has concerns regarding this being a major problem.

Congestion at the front of 118 Collingwood Rd is extremely probable with the intersection of Rycraft Drive almost opposite, there will be cars entering, and slowing for turning. The fact that a bus stop, which will be picking up school children, is on the same side of the road, two houses along towards town adds to the extremely high risk of traffic congestion.

The claim that up to four vehicles at one time will be accommodated at the front of this residence is extremely unbelievable. They may all fit when parked but the big issue is how do they safely enter and leave? There will be no way that cars

can reverse onto Collingwood Rd safely given the above concern regarding congestion near this residence.

Dealing with the issue of extra noise. In view of the fact that the only entry to the house at 118 Collingwood Rd is directly opposite and very close to our residence, how can it be possible that this situation won't have a large effect on our general day to day living and the quality environment we presently enjoy.

We also believe that our backyard rural ambience, that was a strong factor in our decision to purchase this property will be in no doubt affected by the fact that up to 7 children at one time may be in close proximity to our home.

Another concern for us is the fact that having a genuine medical condition that often requires being able to have low stress surroundings, having many young children in such close proximity there has to be no doubt this will be jeopardized.

Finally, can it be totally guaranteed that having a Family Day Care Centre right next to our property will not in the future affect the resale value of our investment? ←

Please take these valid concerns into high consideration.

Yours sincerely



Records Coversheet

Doc No: City of Albany Records
ICR13114645
File: A115594
Date: 22 OCT 2013
Officer: AOP1:MPS

Attach:
Box:
Vol:
Box+Vol:



19-10-13

Dear Sir,

This letter is in response to the proposed Family Day care centre at 118 Bellingwood Rd,

I can honestly say there are two things that would worry me.

1) Traffic on Bellingwood Rd has increased a great deal since I moved in the area 14 years ago. Having to reverse onto this road to leave my premises is tedious at the best of times and when getting half way out we are confronted with cars leaving Ryecraft Drive, add on a bus stop in the area which holds up traffic, it is a real dangerous road.

P.T.O

would not be approved
PLEASE WITHHOLD THIS SECTION OF THE LETTER
Being 81 years old and having had a
bad last 2 years with my health, this
lady and myself have virtually lent
on each other for support and at present
all is well.

So my answer is I do NOT approve
of this project.


Yours Sincerely

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – November 2013
Date : 3 December 2013

1. The attached report shows Planning Scheme Consents issued under delegation by a planning officer for the month of November 2013.
2. Within this period 34 Planning Scheme Consent applications were determined, of these;
 - 33 Planning Scheme Consent applications were approved under delegated authority; and
 - 1 Planning Scheme Consent application was refused.



Jessica Davidson
Administration Officer – Planning

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for November 2013.

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2130407	4/10/2013	M Knewstubb	Cliff Street	Albany	Bed And Breakfast	Delegate Approved	8/11/2013	Julian Berzins
P2130430	18/10/2013	H Lawrence	York Street	Albany	Shop and Private Recreation (Yoga)	Delegate Approved	6/11/2013	Julian Berzins
P2130460	11/11/2013	C Singh	Middleton Road	Albany	Development - Signs x 2	Delegate Approved	27/11/2013	Alex Bott
P2130444	29/10/2013	WA Country Builders	Warlock Road	Bayonet Head	Single House (Scheme Relaxation)	Delegate Approved	8/11/2013	Julian Berzins
P2130464	12/11/2013	Powerhouse Architectural Drafting	Evans Road	Bayonet Head	Single House - Additions - (DCR)	Delegate Approved	18/11/2013	Chris Lynch
P2130468	18/11/2013	B Turpin	Grenfell Drive	Bayonet Head	Single House - Addition (Design Codes Relaxation)	Delegate Approved	25/11/2013	Julian Berzins
P2130375	18/09/2013	M Crosby	Hercules Crescent	Centennial Park	Bulky Goods Outlet	Delegate Approved	5/11/2013	Chris Lynch
P2130408	4/10/2013	D Wee	Albany Highway	Centennial Park	Motel - Additions	Delegate Approved	27/11/2013	Alex Bott
P2130447	31/10/2013	T Melrose	Albany Highway	Centennial Park	Change Of Use - Fast Food Outlet	Delegate Approved	14/11/2013	Julian Berzins
P2130475	20/11/2013	L Green	Eclipse Drive	Collingwood Heights	Home Occupation (Online Sales)	Delegate Approved	27/11/2013	Alex Bott
P2130459	11/11/2013	Benson Design	Mermaid Avenue	Emu Point	Single House - Addition & Outbuilding - DCR	Delegate Approved	15/11/2013	Chris Lynch
P2130405	2/10/2013	N Trewern	Gordon Street	Little Grove	Family Day Care	Delegate Approved	21/11/2013	Alex Bott
P2130436	23/10/2013	South Coast Sheds	Viscount Heights	Lower King	Development - Non-Habitable Structure (Shed)	Delegate Approved	6/11/2013	Julian Berzins
P2130445	30/10/2013	WA Country Builders	Bushby Road	Lower King	Single House	Delegate Approved	4/11/2013	Chris Lynch
P2130416	11/10/2013	A Perrella	Lowanna Drive	Marbelup	Development - Non-Habitable Structure (Storage)	Delegate Approved	15/11/2013	Chris Lynch
P2130463	12/11/2013	Powerhouse Architectural Drafting	Lowanna Drive	Marbelup	Single House	Delegate Approved	26/11/2013	Chris Lynch
P2130069	20/02/2013	B Wright	Gladville Road	McKail	Single House - Additions	Refused	20/11/2013	Tom Wenbourne

REPORT ITEM PD021 REFERS

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2130423	14/10/2013	C Deen & J Henwood-Deen	O'Keefe Parade	McKail	Single House - Outbuilding (Design Codes Relaxation)	Delegate Approved	26/11/2013	Julian Berzins
P2130450	5/11/2013	Zac Caramia Homes	Centaurus Terrace	McKail	Single House and shed (Design Codes Relaxation)	Delegate Approved	14/11/2013	Chris Lynch
P2130373	17/09/2013	South Coast Sheds	Rufus Street	Milpara	Single House - Outbuilding (Scheme Setback Relaxation)	Delegate Approved	5/11/2013	Alex Bott
P2130454	6/11/2013	Retaining And Paving World	Grey Street West	Mount Melville	Single House - Additions (Retaining Wall)	Delegate Approved	15/11/2013	Julian Berzins
P2130169	24/04/2013	R Fenny	Nanarup Road	Nanarup	Tourist Accommodation x 2 (Including Building Additions)	Delegate Approved	21/11/2013	Tom Wenbourne
P2130362	5/09/2013	Concept Building Design And Drafting	Albany Highway	Orana	Motel - Additions (5 x Units and 1 x Manager's Unit)	Delegate Approved	12/11/2013	Chris Lynch
P2130419	15/10/2013	C Syme	Frenchman Bay Road	Robinson	Distillery/Cellar Door Sales - Additions (Shed)	Delegate Approved	6/11/2013	Alex Bott
P2130487	28/11/2013	Ryde Building Company Pty Ltd	Rowney Road	Robinson	Single House	Delegate Approved	28/11/2013	Chris Lynch
P2130383	7/10/2013	Albany Historical Society	Nind Street	Spencer Park	Club Premises (Albany Historical Society)	Delegate Approved	14/11/2013	Tom Wenbourne
P2130413	10/10/2013	Concept Building Design And Drafting	Wooderson View	Spencer Park	Single House - Additions and Earthworks (Swimming Pool)	Delegate Approved	1/11/2013	Alex Bott
P2130453	6/11/2013	Retaining And Paving World	Puget Court	Spencer Park	Single House - Additions (Retaining Wall)	Delegate Approved	26/11/2013	Alex Bott
P2130443	29/10/2013	South Coast Sheds	Rocky Crossing Road	Warrenup	Single House - Outbuilding	Delegate Approved	1/11/2013	Chris Lynch
P2130449	4/11/2013	O Mcintosh	Kendell Court	Warrenup	Single House - Outbuilding (Addition) - Scheme Relaxation	Delegate Approved	7/11/2013	Julian Berzins
P2130461	11/11/2013	South Coast Sheds	Warrenup Place	Warrenup	Single House - Addition (Shed)	Delegate Approved	14/11/2013	Chris Lynch
P2130472	19/11/2013	Auscan Construction	Warrenup Place	Warrenup	Single House - Addition (Patio)	Delegate Approved	21/11/2013	Chris Lynch
P2130469	18/11/2013	R Maroni	Greenwood Drive	Willyung	Single House - Additions	Delegate Approved	21/11/2013	Chris Lynch
P2130473	19/11/2013	Powerhouse Architectural Drafting	Neilson Road	Willyung	Single House - Additions (2 Storey Rear Addition and Patio) - Setback Relaxation	Delegate Approved	27/11/2013	Chris Lynch

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Development
Subject : Building Activity – November 2013
Date : 4 December 2013

1. In November 2013, 68 building permits were issued for building activity worth \$9,225,674. This included 2 sign licences.

It is brought to Council's attention that these figures included building licence 130064 for additions to a church; estimated value \$2,500,000 and building licence 130792 for a grouped dwelling; estimated value \$1,562,000.

2. The two (2) attached graphs compare the current City activity with the past three (3) fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the permits issued for November 2013, the fifth month of activity in the City of Albany for the financial year 2013/2014.

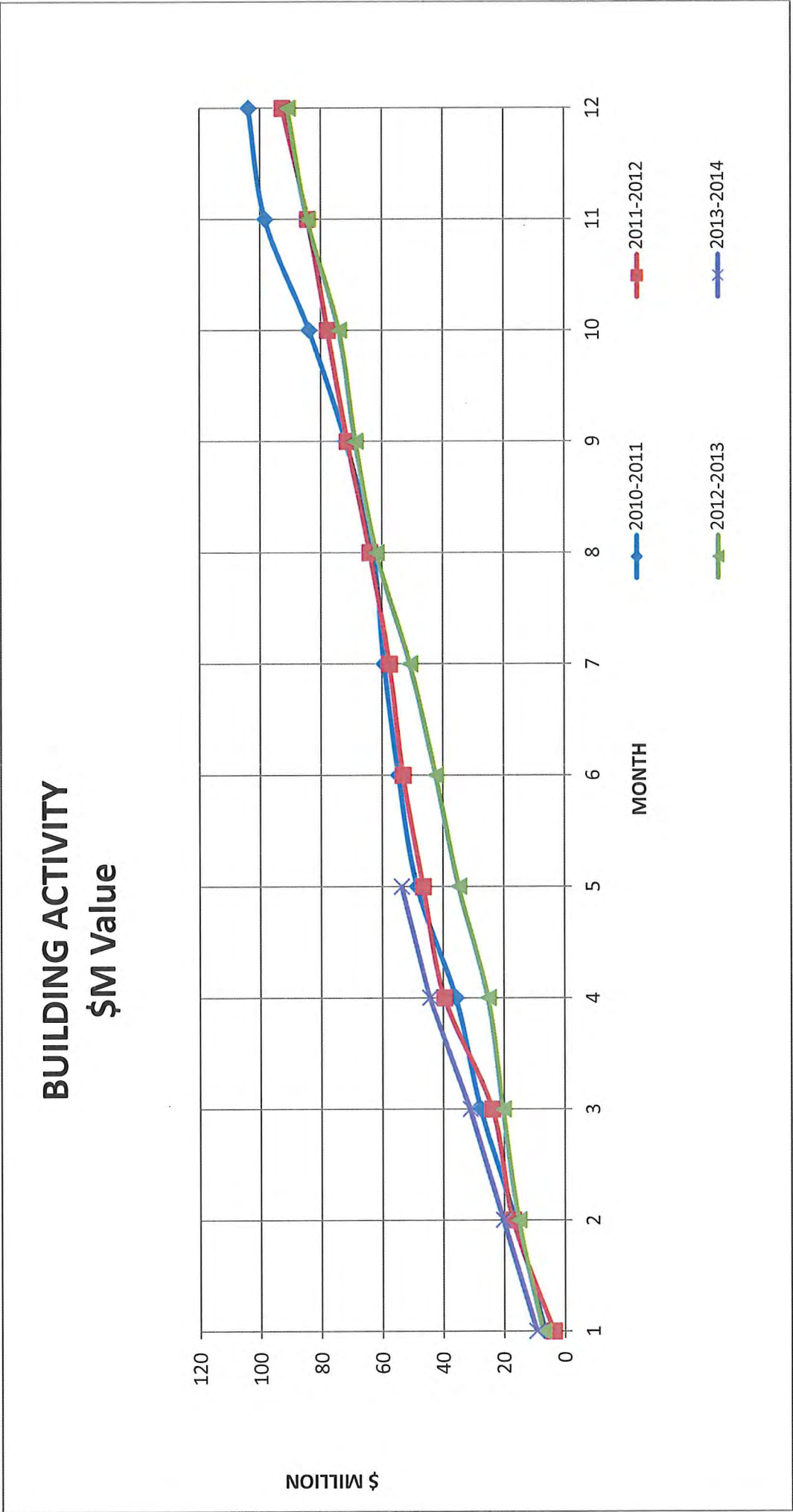


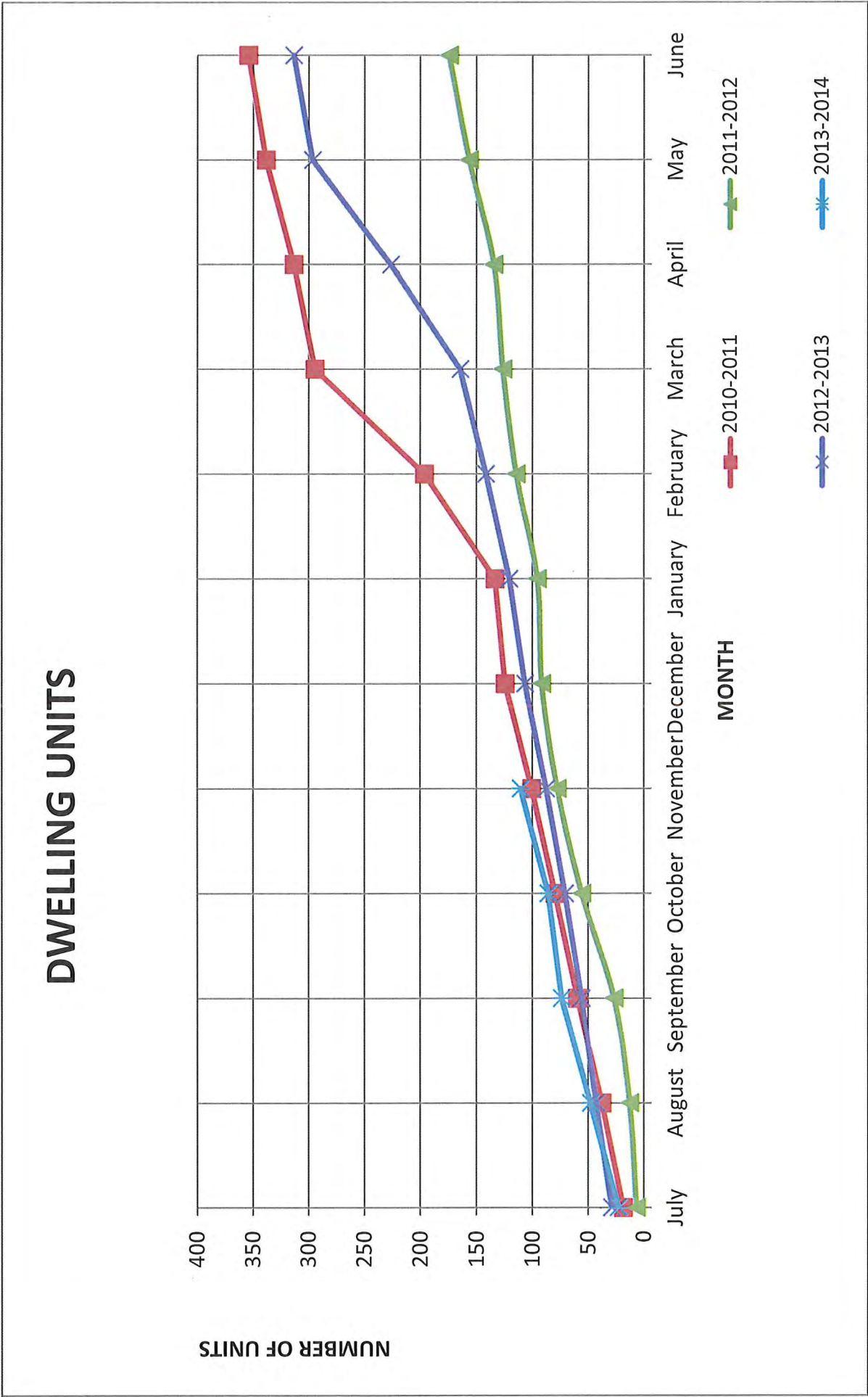
Druella McTavish
Building Services Liaison Officer

CITY OF ALBANY

BUILDING CONSTRUCTION STATISTICS FOR 2013 - 2014

2013/2014	SINGLE DWELLING		GROUP DWELLING		DOMESTIC/ OUTBUILDINGS		ADDITIONS/ DWELLINGS		HOTEL/ MOTEL		NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER		TOTAL \$ VALUE
	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	
JULY	21	5,370,893	2	1,900,000	13	209,771	24	1,048,880	0	0	1	570,000	1	1,800	11	275,524	9,376,868
AUGUST	25	6,514,618	0	0	8	162,787	31	1,680,490	0	0	3	2,000,000	3	487,841	10	143,210	10,988,946
SEPTEMBER	26	7,581,179	0	0	14	236,958	20	860,376	0	0	0	0	3	1,244,074	13	993,302	10,915,889
OCTOBER	25	7,880,432	1	640,000	16	226,956	28	1,306,494	0	0	7	3,039,857	0	0	9	100,050	13,193,789
NOVEMBER	14	3,828,056	1	1,562,000	19	344,935	18	202,283	0	0	0	0	9	3,120,900	7	167,500	9,225,674
DECEMBER 2012																	0
JANUARY																	0
FEBRUARY																	0
MARCH																	0
APRIL																	0
MAY																	0
JUNE																	0
TOTALS TO DATE	111	31,175,178	4	4,102,000	70	1,181,407	121	5,098,523	0	0	11	5,609,857	16	4,854,615	50	1,679,586	53,701,166





Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
130773	OCCUPANCY PERMIT	PERPETUAL TRUSTEES	OCCUPANCY PERMIT -	42-68	Lot 104	ALBANY HIGHWAY	ALBANY
130788	MS HAYLEY LAWRENCE	AUSTRALIA LTD ALBANY CBD INVESTMENTS	BOOST JUICE SHOP FIT OUT TO UNIT 4 - RELAXATION ROOMS - CERTIFIED	141-145	Location Lot 21	YORK STREET	ALBANY
130799	BUILDING APP CERT	PTY LTD PERPETUAL TRUSTEES	OCCUPANCY PERMIT -	42-68	Lot 104	ALBANY HIGHWAY	ALBANY
130770	PULS PATIOS	AUSTRALIA LTD NH WADDELL	TENANCY 15 PATIO - UNCERTIFIED	49	Lot 433	RANGE COURT	BAYONET HEAD
130776	OWNER BUILDER	M & R EDWARDS	SHED & PATIO - UNCERTIFIED	15	Lot 8	CRESCENT ALISON PARADE	BAYONET HEAD
130798	WA COUNTRY BUILDERS PTY LTD	Owner's name and address not shown at their request	NEW DWELLING - UNCERTIFIED	19	Lot 704	WARLOCK ROAD	BAYONET HEAD
130814	OWNER BUILDER	PB KINNEAR & L GIUNTOLI	SHED - UNCERTIFIED	35	Lot 742	GRENFELL DRIVE	BAYONET HEAD
130807	BUILDING APP CERT	B L & D J ROBINS	UNAUTHORISED WORKS -	854	Location 388	FRENCHMAN BAY	BIG GROVE
130818	OWNER BUILDER	B & D ROBINS	SHED SHED - UNCERTIFIED	854	Location 388	ROAD FRENCHMAN BAY	BIG GROVE
130806	KOSTERS OUTDOOR PTY LTD	V E & K'S MCKINNON	SHED - GABLE ROOF - UNCERTIFIED	38	Lot 120	ROAD DALY ROAD	BORNHOLM
130751	PLUNKETT HOMES (1903) PTY LTD	Owner's name and address not shown at their request	NEW DWELLING - UNCERTIFIED	50	Lot 1	LION STREET	CENTENNIAL
130829	BAROVEN PTY LTD	shown at their request STEAD ROAD PTY LTD	UNCERTIFIED SHOP FITOUT & ALTERATIONS - SUPER	160	Lot 300	ALBANY HIGHWAY	PARK CENTENNIAL
130836	JONATHAN STACEY	PERPETUAL TRUSTEES	CHEAP AUTO & BETTER SHOP FIT OUT - CERTIFIED -	70-88	Lot 105	ALBANY HIGHWAY	PARK CENTENNIAL
130746	KOSTERS OUTDOOR PTY LTD	AUSTRALIA LTD JC VAN DEN HOOGEN	SUBWAY TENANCY 6 PATIO & DECK - UNCERTIFIED	11	Lot 119	BORONIA AVENUE	PARK COLLINGWOOD HEIGHTS
130804	CREATION HOMES	R C & S M MCKENNEY	ART STUDIO - UNCERTIFIED	18	Location 402	NORTH ROAD	ELLEKER
130730	BUILDING APP CERT	K & L TROUGHTON	UNAPPROVED PATIO	44	Lot 14 Lot 300	BOTTLEBRUSH ROAD	GLEDSHOW
130772	OCCUPANCY PERMIT	GREAT SOUTHERN	OCCUPANCY PERMIT -	244	Lot 14	NANARUP ROAD	KALGAN
		GRAMMAR SCHOOL	BOARDING HOUSE				

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
130779	BUILDING APP CERT	Owner's name and address not shown at their request D & H NORTON	BUILDING APPROVAL CERT	16	Lot 118	SWAN POINT ROAD	KALGAN
130787	OWNER BUILDER		SHED - UNCERTIFIED	45804	Location 3111 Lot 109 Lot 202	SOUTH COAST HIGHWAY BON ACCORD ROAD	KALGAN
130828	KENNETH RONALD SMITH	P APOSTOLES & KM	NEW DWELLING - CERTIFIED				KALGAN
130762	DUNKELD CONSTRUCTION PTY LTD	APOSTOLES KJ MCINTYRE & SM	EXTEND EXISTING GARAGE - UNCERTIFIED	542	Lot 154	CHESTER PASS ROAD	KING RIVER
130064	TOWTON JACK HILTON	CHURCHES OF CHRIST IN WESTERN AUSTRALIA	CHURCH - PUBLIC BUILDING - CERTIFIED	224	Lot 2	MERCER ROAD	LANGE
130685	PLUNKETT HOMES (1903) PTY LTD	Owner's name and address not shown at their request CP CAFFERATA & J MORRIS	NEW DWELLING - UNCERTIFIED	24	Lot 202	ELARAY WAY	LANGE
130768	OWNER BUILDER		RETAINING WALL - UNCERTIFIED	36	Lot 107	GROVE STREET	LITTLE GROVE
130725	PLUNKETT HOMES (1903) PTY LTD	Owner's name and address not shown at their request DEPARTMENT OF HOUSING	NEW DWELLING - UNCERTIFIED	6	Lot 444	EAST RAYBOLD STREET	LOCKYER
130800	AUSCAN CONSTRUCTION		STEEL-FRAMED PATIO - UNCERTIFIED	1-13	Lot 420	MENZIES STREET	LOCKYER
130757	THOMAS & JACQUI SHAEFER	T & J SCHAEFER	ANCILLARY ACCOMODATION - UNCERTIFIED	65	Lot 72	VISCOUNT HEIGHTS	LOWER KING
130763	OWNER BUILDER	PH TRIPLETT & AM SMITH	CONVERSION OF PATIO INTO THEATRE ROOM - UNCERTIFIED	35	Lot 56	WINDERMERE ROAD	LOWER KING
130777	KOSTERS OUTDOOR PTY LTD	J & R SEPKUS	SHED - UNCERTIFIED	18	Lot 90	VISCOUNT HEIGHTS	LOWER KING
130780	LV CUTHBERT	Owner's name and address not shown at their request PL BIRD	FISH TRAPS PROJECT - ALTERATIONS TO DWELLING - AMENDMENT TO ORIGINAL		Location RES 32986 RES 32986 R 164 Lot 52	KULA ROAD BON ACCORD ROAD	LOWER KING
130784	JAN TARBOTTOM						
130796	DAVID HOLLOWAY	PAUL JONATHAN MCSWEENEY	SHED - UNCERTIFIED	75	Lot 75	VISCOUNT HEIGHTS	LOWER KING
130819	OWNER BUILDER	R & K HARKEN	SWIMMING POOL - UNCERTIFIED	71	Lot 84	ELIZABETH STREET	LOWER KING

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
130821	RYDE BUILDING COMPANY PTY LTD	Owner's name and address not shown at their request WM KENNEDY	NEW DWELLING - UNCERTIFIED	314	Lot 401	BON ACCORD ROAD	LOWER KING
130519	BUILDING APPROVAL CERT - LTD	shown at their request WM KENNEDY	STRATA - BUILDING UNCERTIFIED	23	Lot 59	SHERWOOD DRIVE	MCKAIL
130739	STRATA OWNER BUILDER	CJ SCOTT	APPROVAL CERT PATIO - UNCERTIFIED	8	Lot 261	DORADO BEND	MCKAIL
130755	RYDE BUILDING COMPANY PTY LTD	Owner's name and address not shown at their request JP MURCUTT & KM ELSBY	NEW DWELLING - UNCERTIFIED PATIO - UNCERTIFIED	27	Lot 284	DONALD DRIVE	MCKAIL
130761	KOSTERS OUTDOOR PTY LTD	shown at their request JP MURCUTT & KM ELSBY	UNCERTIFIED PATIO - UNCERTIFIED	69	Lot 545	DROME ROAD	MCKAIL
130774	KOSTERS OUTDOOR PTY LTD	B & C BOWMAN	SHED - UNCERTIFIED	7	Lot 342	SATELLITE CLOSE	MCKAIL
130782	PULS PATIOS	M & I BAIRSTOW	PATIO - UNCERTIFIED	20	Lot 252	CENTAURUS TERRACE	MCKAIL
130815	WREN (WA) PTY LTD	C & H NOAKES	NEW DWELLING & SHED - UNCERTIFIED	8	Lot 730	CENTAURUS TERRACE	MCKAIL
130792	AUGUSTSON ENTERPRISES	Owner's name and address not shown at their request R & D TINDAL	GROUPED DWELLING X 2 (HOLIDAY ACCOMMODATION X 1) - CERTIFIED ADDITIONS TO WAREHOUSE	3	Lot 11	CHECKERS WALK	MIDDLETON
130543	OWNER BUILDER	shown at their request R & D TINDAL	ADDITIONS TO WAREHOUSE	8	Lot 204	MERRIFIELD	BEACH MILPARA
130797	DAVID HOLLOWAY	SM WISE & KAE BROWN	LEAN TO - CERTIFIED SHED - UNCERTIFIED	6	Lot 72	STREET RUFUS STREET	MILPARA
130834	RWE ROBINSON & SONS PTY LTD	PG YOUNG & BE YOUNG	PYLON SIGN	4	Lot 14	ANTHONY ROAD	MILPARA
130699	HOME GROUP WA GREAT SOUTHERN PTY LTD	Owner's name and address not shown at their request	RETAINING WALL - UNCERTIFIED	17	Lot 29	ROBERT STREET	MOUNT CLARENCE
130765	RYDE BUILDING COMPANY PTY LTD	Owner's name and address not shown at their request G & E SPENCE & M & R	NEW DWELLING - UNCERTIFIED SHED - UNCERTIFIED		Lot 492	WOOLSTORES PLACE	MOUNT ELPHINSTONE NANARUP
130786	OWNER BUILDER	QUICKE M & D COLLINS	SHED - UNCERTIFIED	12	Lot 57	KATOOMBA STREET	ORANA
130795	SOUTH COAST SHEDS	LE & PJ JONES	SHED - UNCERTIFIED	55	Lot 253	CARBINE STREET	ORANA

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
130805	SONNY ORO	M D DONEY & L LIONETTI	PATIO - DECK EXTENSION -	76-78	Lot 170	MCKAIL STREET	ORANA
130822	SUPERLINE	P & A CAMERON	UNCERTIFIED SIGN	356-358	Lot 63	ALBANY HIGHWAY	ORANA
130499	BUILDING APPROVAL CERT - STRATA	SISAK HOLDINGS PTY LTD	BUILDING APPROVAL CERT - STRATA	26	Lot 152	BAUDIN PLACE	SPENCER PARK
130769	PULS PATIOS	AK MAPSTONE & CAJ HENDRY	PATIO - UNCERTIFIED	78	Lot 35	DAVID STREET	SPENCER PARK
130781	PULS PATIOS	DJ ROBERTSON	PATIO - UNCERTIFIED	25	Lot 66	HARDIE ROAD	SPENCER PARK
130827	DOWN UNDER CONTRACTING	A & A VAN DER SNOEK	RETAINING WALLS - UNCERTIFIED	11-21	Lot 238	TUNNEY WAY	SPENCER PARK
130810	OWNER BUILDER	DB BIELBY	GARAGE - UNCERTIFIED	237	Lot 70	PERKINS BEACH ROAD	TORBAY
130790	SOUTH COAST SHEDS	E & M REEVE	SHED - UNCERTIFIED	160	Lot 201	ROCKY CROSSING	WARRENUP
130801	AUSCAN CONSTRUCTION	A J & K A BOSEGGA	STEEL-FRAMED PATIO - UNCERTIFIED	72	Lot 255	ROAD WARRENUP PLACE	WARRENUP
130820	HOME GROUP WA GREAT	Owner's name and address not shown at their request	PATIO TO REAR OF DWELLING - UNCERTIFIED	118	Lot 171	DELORAINE DRIVE	WARRENUP
130825	SOUTHERN PTY LTD	D & J SENN	SHED - UNCERTIFIED	94	Lot 260	WARRENUP PLACE	WARRENUP
130793	CRAMEN PTY LTD	C F & E J GOODCHILD	AMENDMENT TO ORIGINAL BP130696 FOR ADDITIONS TO EXISTING DWE				WILLYUNG
130511	OWNER BUILDER	S A CARMAN	PATIO ADDITION - UNCERTIFIED	60	Lot 421	KELTY VIEW	WILLYUNG
130794	JAMES & CHRISTINE DIJKSTRA	J & CM DIJKSTRA	NEW DWELLING GARAGE		Lot 207	GREENWOOD	WILLYUNG
130802	LEEDER GREGORY	N J & P A JOYCE	ALFRESCO SWIMMING POOL & SHED - CERTIFIE		Lot 804	DRIVE WESTON RIDGE	WILLYUNG
130812	D & A HOLLAND	RB RANFORD	NEW DWELLING - UNCERTIFIED	235	Lot 202	ROCKY CROSSING ROAD	WILLYUNG
130743	HOME GROUP WA GREAT	Owner's name and address not shown at their request	NEW DWELLING - UNCERTIFIED	167-169	Lot 211	ULSTER ROAD	YAKAMIA
130759	SOUTHERN PTY LTD	Owner's name and address not shown at their request	UNCERTIFIED		Lot 142	BALTIC RIDGE	YAKAMIA
130759	WREN (WA) PTY LTD	Owner's name and address not shown at their request	NEW DWELLING - UNCERTIFIED				YAKAMIA

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
130760	GM HAZEL	Owner's name and address not shown at their request	PATIO - UNCERTIFIED	27	Lot 305	KAMPONG ROAD	YAKAMIA
130767	OWNER BUILDER	JE BENNETT	SHED - UNCERTIFIED	10	Lot 508	DEACON CREST	YAKAMIA
130771	WA COUNTRY BUILDERS PTY LTD	Owner's name and address not shown at their request	NEW DWELLING - UNCERTIFIED	12	Lot 665	JUNIPER COURT	YAKAMIA
130826	HAVOC BUILDERS PTY LTD	BW HOLT	PATIO - UNCERTIFIED	37	Lot 94	MARCONI ROAD	YAKAMIA
130808	OWNER BUILDER	JD BASTIANI	SHED - UNCERTIFIED		Location 7127	HUNWICK ROAD	YOUNGS SIDING

No.	SINGLE DWELLING	GROUP DWELLING	DOMESTIC/ OUTBUILDINGS	ADDITIONS/ DWELLINGS	HOTEL/ MOTEL	NEW COMMERCIAL	ADDITIONS/ COMMERCIAL	OTHER
1	362,507	1,562,000	7,000	55,000			16,500	75,000
2	241,257		7,500	15,000			7,000	28,000
3	235,089		12,000	8,000			16,000	3,000
4	237,673		20,500	1,500			15,000	19,000
5	242,433		17,700	6,000			400	15,000
6	269,600		24,150	11,725			480,000	25,000
7	198,376		9,400	4,000			2,500,000	2,500
8	262,033		15,000	10,300			9,000	
9	450,000		10,000	3,600			77,000	
10	266,366		10,000	4,500				
11	216,172		35,000	6,700				
12	237,150		29,000	5,500				
13	337,400		37,185	2,200				
14	272,000		15,000	7,000				
15			18,000	18,760				
16			41,000	16,998				
17			5,500	5,500				
18			16,000	20,000				
19			15,000					
Total	3,828,056	1,562,000	344,935	202,283	0	0	3,120,900	\$ 167,500.00

Grand Total \$ **9,225,674.00**

N.B Red font denotes Park Home Licence